Artist’s impression of south elevation

18 A-C GLENAMOY LAWN HOUSES

DESIGN STATEMENT FOR PART 8 PLANNING SUBMISSION July 2020 Rev A

1.0 SCHEDULE OF ACCOMMODATION

The proposal includes:-

- Construction of 3no. 3 bed 2 storey houses
- Construction of Access Ramp
- Adjustment to rear garden wall and access to no. 66 Avonmore Park to facilitate rear access to replace the existing side access for this house

Figure 1 site layout indicating proposed roof plan

Unit Address	*House Types*	*House Area*	*Private Open space*
18A Glenamoy Lawn	3 bed	99.5m^2	53m^2
18B Glenamoy Lawn	3 bed	99.5m^2	53m^2
18C Glenamoy Lawn	3 bed	99.5m^2	72m^2

2.0 SITE

2.1 Location

The site is located in Mayfield, in the north-eastern suburbs of Cork City.

2.2 Suitability

- Zoned 'Residential, Local Services and Institutional Uses' in the Cork City Development Plan
- Infill site in existing housing estate site
- Close proximity to services and amenities
- Road and utility infrastructure already in place
- Located close a bus route
- No particular risk of flooding

2.3 Characteristics

Existing site:

- Site is currently a public right of way from Glenamoy Lawn and Avonmore Park to Ballinderry Park to the north
- Area: 519m^2
- Topography: sloping site, rising approx. 3m north to south
- 2 storey blank gables walls to East and West with single story blank gable to west side.
- Existing stepped and sloping public footpath running north-south across the site

Immediate surroundings:

- 1970's development of system-built terrace blocks of houses remain
- Typology: 2-storey, 3-bedroom houses
- Neighbouring houses have private gardens backing onto a public path running East-West across the site
- The front of the site is only accessible by foot. There is a ramped access from adjacent car parking in Avonmore Park (125m).
- Local street pattern based on cul-de-sac arrangement
- The Existing pedestrian permeability is problematic. It is felt that the removal of the public right of way in this area will reduce antisocial behaviour
- Current density approx. 35-40 dwellings/hectare
- Settled community, mature planting/trees to public open space
- Bounded by existing housing estates to all sides. (Avonmore Park and Glenamoy Park to the South and Ballinderry Park to the North Road with a pedestrian walkway between the two)

Figure 2 Recent Aerial Photo with site identified

3.0 SITE STRATEGY

- Respect existing character, street pattern, building lines, building scale
- The height of the surrounding buildings is recognised, by the continuation of the eaves line to the East by dropping the ground floor level of the new houses
- Address existing public open space, retain existing mature trees
- Retain mature public open area to north of site
- Parking: we are adding an additional two unassigned car parking spaces in Glenamoy Lawn to compensate for any additional car in the area due to the development
- These spaces are placed perpendicular to the road and parallel to the existing car parking spaces in the area
- We have avoided as much as possible existing underground services but some re routing is necessary and any disruption will be minimised.

The basic site strategy adopted was to continue the existing pattern of 2-storey terraced housing to both sides, with side rear garden access supplied for the two end houses

4.0 DEVELOPMENT PLAN OBJECTIVES

The following is an outline of the relevant Development Plan Objectives from the current Cork City Development Plan and how these are met:

6.1 Residential Strategic Objectives	The scheme makes use of underused land providing a high quality, predominantly family houses, integrated into an existing neighbourhood with good access to services, amenities and public transport
6.8 Housing Mix	The scheme provides 2-storey 3-bedroom houses which are slightly larger that many of those surrounding and responds to the housing demands in the area.
6.9 Housing Density	The scheme provides a density of approx. 45 dwellings per hectare which confirms with the requirements for the area
16.9 Sustainable Residential Development	This scheme delivers residents and visitors with houses which have walking, cycling and public transport access and minimise the need to use cars. It increases the efficient use of land in terms of density and plot ratio

5.0 URBAN DESIGN CRITERIA

The following is a demonstration of how the design criteria set out in the 'Urban Design Manual – Best Practice Guide' documents are met:

5.1. Context

The existing context predominantly consists of terraces and blocks of 2-storey houses, with projecting porches.
The proposed scheme respects the existing context with the use of vernacular-form, symmetrical pitched-roof houses, using a terraced block arranged to create a continuation the existing street pattern. The scale of the surrounding development is maintained, with 2-storey houses.

The proposed scheme takes account of the mature, suburban nature of the surrounding area, and retains as many of the existing mature trees as possible.

5.2. Connections

The scheme is well connected to the public transport network by virtue of the existing bus route on the Old Youghal Road and walkable access to services both in Mayfield and on the Old Youghal Road.

5.3. Inclusivity

The entire development is compliant with access regulations, and can be accessed, visited and used by wheelchair users, buggies etc. from an adjacent car park.
Unnecessary physical and visual barriers are avoided by integrating the scheme into the existing street pattern and relying on passive supervising as the principle means of achieving security.

5.4. Variety

The proposed scheme includes a single house type, in the form of a 2 storey terrace:

- 3no. 3-bedroom houses

5.5. Efficiency

The scheme makes use of an under-used site and allows the rear gardens to follow the contours of the site to minimise excavation. The house design is a simple terraced form to minimise external wall area.

5.6. Distinctiveness/Layout

This scheme aims to complete the street and is therefore not significantly distinctive from the street but blends into the surrounding housing but delivered to meet current building standards.

5.7. Public Realm

The proposed development creates a built edge to the existing public footpath, and provides additional passive supervision of the south. Green areas with mature trees to the north and south of the site are retained.
The principles of the 'Design Manual for Urban Roads & Streets' were followed in the design of roads, paths and other hard-landscaped areas within the scheme.

5.8. Adaptability

There is limited capacity for adaptability of the layouts of the houses as they are constrained to both gables by existing houses and to the rear due to the limited size of the rear gardens.

5.9. Privacy and Amenity

All dwellings are provided with private open space in the form of rear gardens, with areas meeting the recommendations of the Development Plan. All dwellings have a designated defensible space to the front with their own entrance door.

5.10. Parking

On-street parking has recently been expanded by 2 spaces to allow adequate parking for these additional 3 houses.

5.11. Detailed Design

Materials such as brick, render, fibre cement slate etc. reflect tried-and-tested traditional building methods used in the surrounding area, and are considered an appropriate aesthetic for the scheme.

6.0 SITE SERVICES

The development will require some diversion of existing services crossing the site as shown on DJF's drawings. In the context of the diversion and connection to existing water and drainage networks we give an undertaking to adhere to the following conditions set down by Irish Water:

a. *The applicant enters into a connection agreement and diversion agreement with IW prior to the commencement of any works on site.*
b. *The applicant would be responsible for submitting full detailed design proposals for diversion of the assets.*
c. *A technical solution must be proposed in accordance with the IW Code of Practice and Standard Details.*
d. *The applicant must finance all costs associated with diverting the IW assets.*

18A ,18B & 18C GLENAMOY LAWN INFILL HOUSING PROJECT

PROJECT BASEPOINT: X: 573,600, Y: 569900, Z: 0

LEVEL 0 FFL: 99.150
LEVEL 1 FFL: 101.925

PROJECT NORTH: 19.8702 DEGREES TO EAST (OR 340.13 DEGREES TO NORTH)

Do not scale from drawings. Use dimensioned figure only.
Contractor to check all dimensions on site.
City Architect to be informed of any discrepancies before work proceeds

Notes

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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Project Architects	Maeve Mansfield
Project Technicians	Denis Gould
Project Supervisor (PSDP)	DJF Engineering Services
Quantity Surveyor	Tony O'Regan & Assoc
Civil / Structural Consultant	DJF Engineering Services
M & E Consultant	Matt O'Mahony & Assoc
Landscape Architect	
Fire Consultant	

Title

SPLASH SCREEN

Scale
Date November 2019
Drawn By MM
Checked By COB

Plotfiles Ref.

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	***	

Project

18A,18B & 18C Glenamoy Lawn Infill Housing Project

DRAWING ISSUE SHEET

Project: 18A,18B & 18C GLENAMOY LAWN,MAYFIELD,CORK

Job Number:

Distribution:	**Attn:**		
Housing and Community Directorate	Michael Lordan		I
File			
E- Electronic copy for information			E
Date of Issue:July 2020 Rev A			10/07/20

DOCUMENT TITLE:	**Dwg. No.**				**Scale:**	**Size:**		
OSI Site Location Map	P8	PL01			1:1000	A3	pdf	I
Existing Site Plan	P8	PL02			1:500	A3	pdf	I
Existing Longitudinal Sections/ Elevations	P8	PL03			1:250	A3	pdf	I
Site Plans	P8	PL04			1:500	A3	pdf	I
Schedule of Accommodation	P8	PL05			1:100	A3	pdf	I
Rendered Elevations & Site Section	P8	PL06			1:200	A3	pdf	I
Typical GA Floor Plans	P8	PL07			1:100	A3	pdf	I
Typical GA Elevations	P8	PL08			1:100	A3	pdf	I
Typical GA Sections	P8	PL09			1:100	A3	pdf	I
North East & South West Site Axonometric Views	P8	PL10			1:250	A3	pdf	I
Design Statement							pdf	I
AA Screening Report							pdf	I
EIS Screening							pdf	I

Signed:

Status Codes:
I: Information
T: Tender
C: Contract
X: Construction

N

Notes:
Site Boundary
Rev: A
Date: July 2020
(Site Dimensions: 22m x 20m (approx)
Site Area 0.0514 hectare (approx)
DWG No.PL01

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Site for the proposed development of 3 no. 2 Storey Houses.

Location of Site Notice 01

Area for the Proposed Access Ramp

Proposed Additional 2no. Car Parking Spaces

Location of Site Notice 02

BALLINDERRY PARK
GLENAMOY LAWN
Glenamoy Lawn
AVONMORE PARK
OLD YOUGHAL ROAD
SPRING VALE
Avonmore Park
Páirc Abhainn
Glenamoy Lawn

OS No.	Title	DWG No.	Scale
6338-18,-19,-23 &- 24	18A,18B & 18C GLENAMOY LAWN INFILL HOUSING PROJECT	PL.01	1:1000@A3

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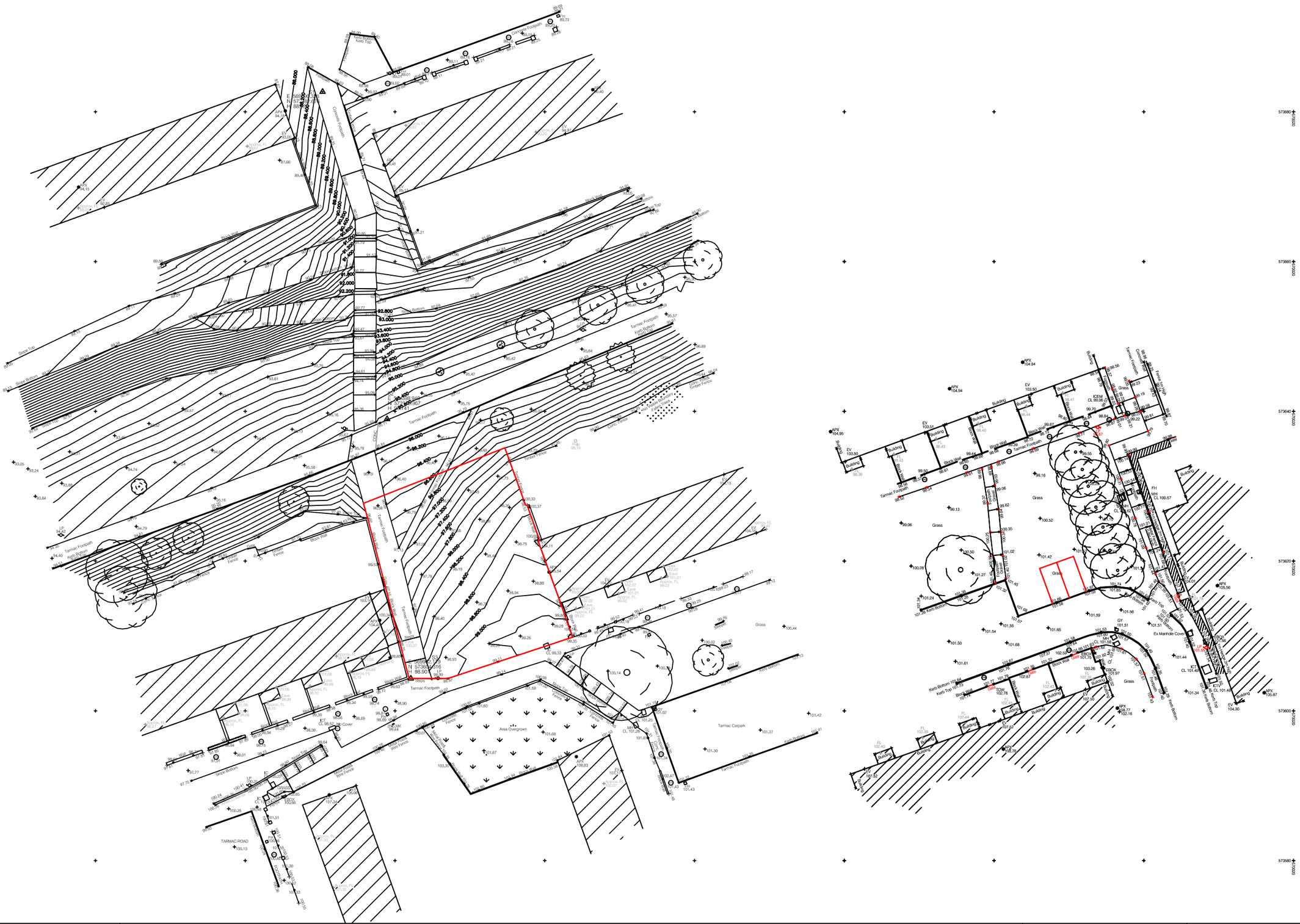
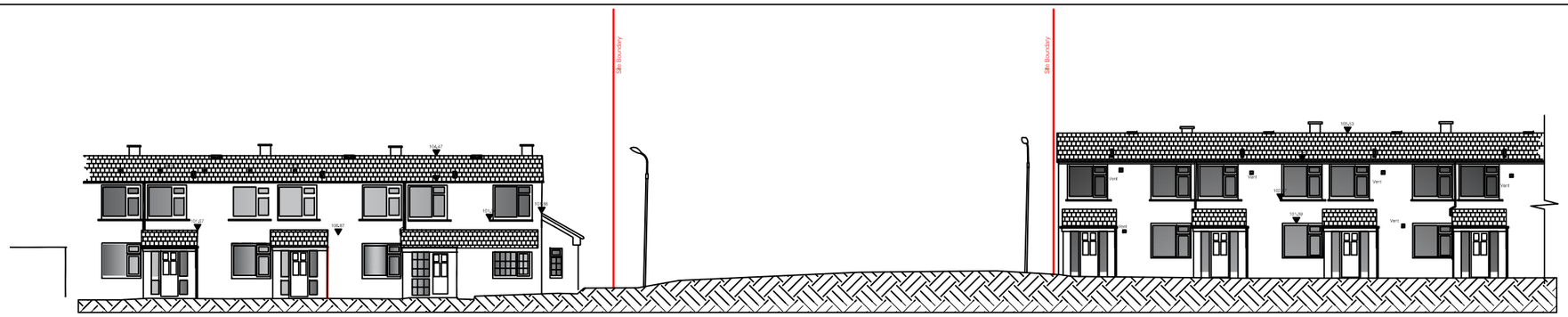
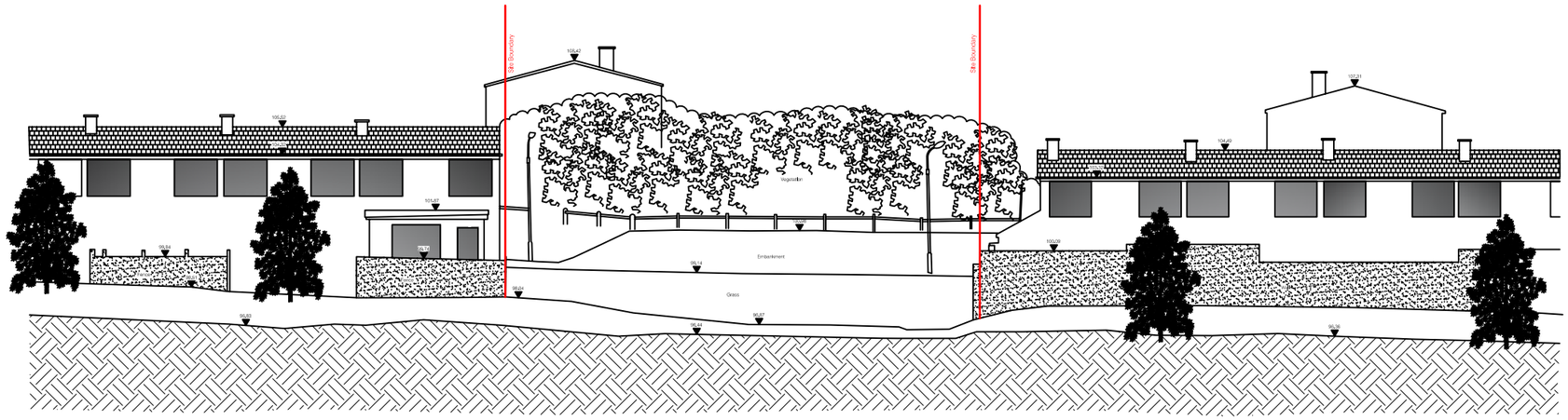
N



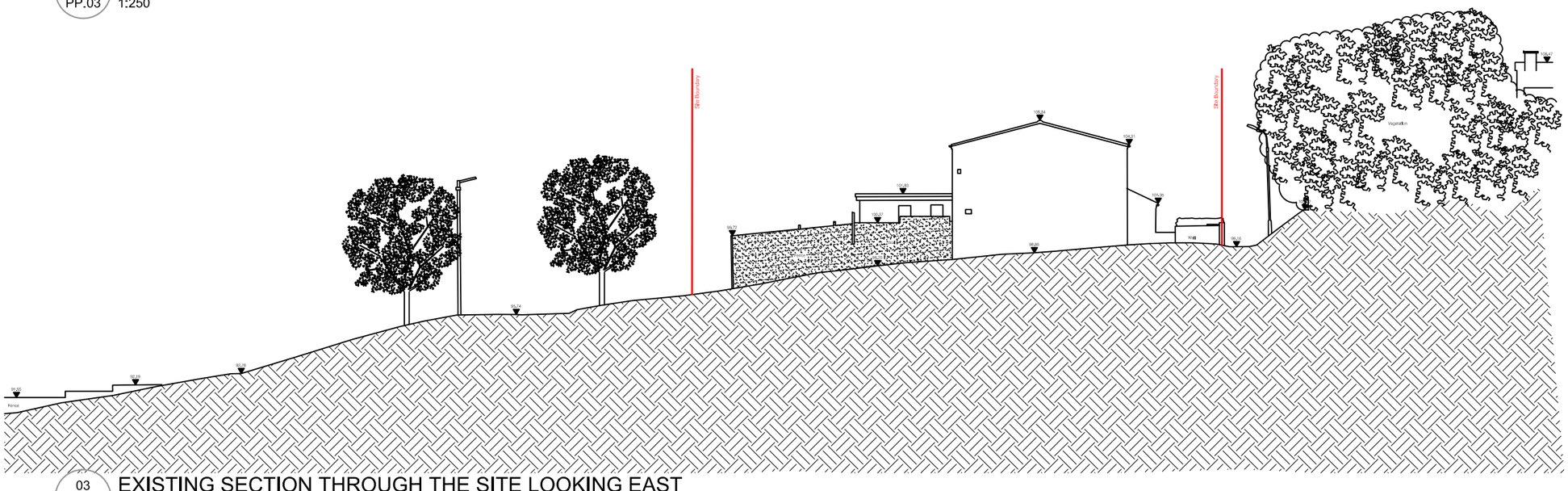
OS No.	Title	DWG No.	Scale
	18A,18B &18C GLENAMOY LAWN INFILL HOUSING PROJECT (EXISTNG SITE PLAN)	PL.02	1:500@A3



01 PP.03 EXISTING SOUTH ELEVATION
1:250



02 PP.03 EXISTING SECTION THROUGH THE SITE LOOKING NORTH
1:250



03 PP.03 EXISTING SECTION THROUGH THE SITE LOOKING EAST
1:250

Do not scale from drawings. Use dimensioned figure only.
Contractor to check all dimensions on site.
City Architect to be informed of any discrepancies before work proceeds.

Notes

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 20

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Quantity Surveyor	Tony O'Regan Associates
Civil/Structural Consultant	DJF Engineering Services
M & E Consultant	Matt O'Mahony and Associates
Landscape Architect	
Fire Consultant	

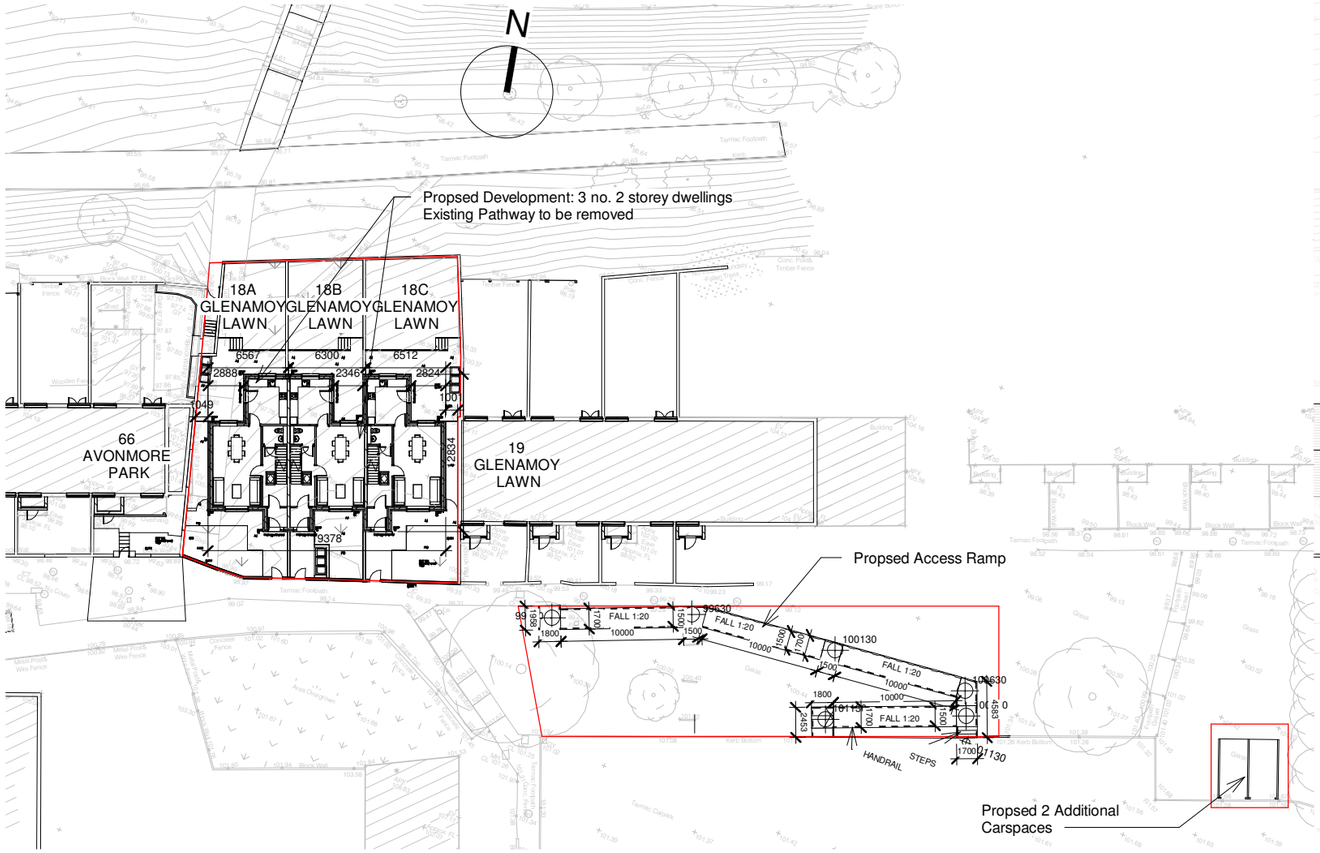
Title
EXISTING SITE ELEVATION & SITE SECTIONS

Scale	1:250@A3
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.
H\Projects\Housing\New Build Glenamoy Lawn\CAD\ 3.0 Planning

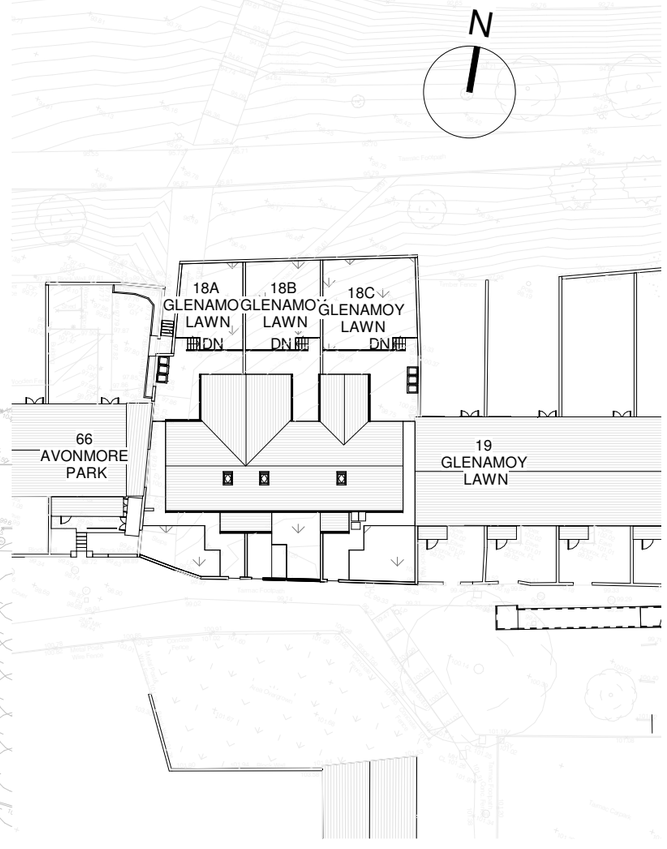
Drawing Status	Job No.	Drawing No.	Rev.
Part 8		PL.03	A

Project
18A,18B &18C Glenamoy Lawn Infill Housing Project



1 Site Plan -Ground Floor

1 : 500



2 Site Plan -Roof Plan

1 : 500

Proposed Development 3 no. 2 Storey Dwellings.

Proposed 2 No. Additional Car Parking Spaces Shown in red. Each space meaures 2.4m x 4.8m.

Area for the Propsed Access Ramp

Site Plan Google Earth Image

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Landscape Architect	
Fire Consultant	

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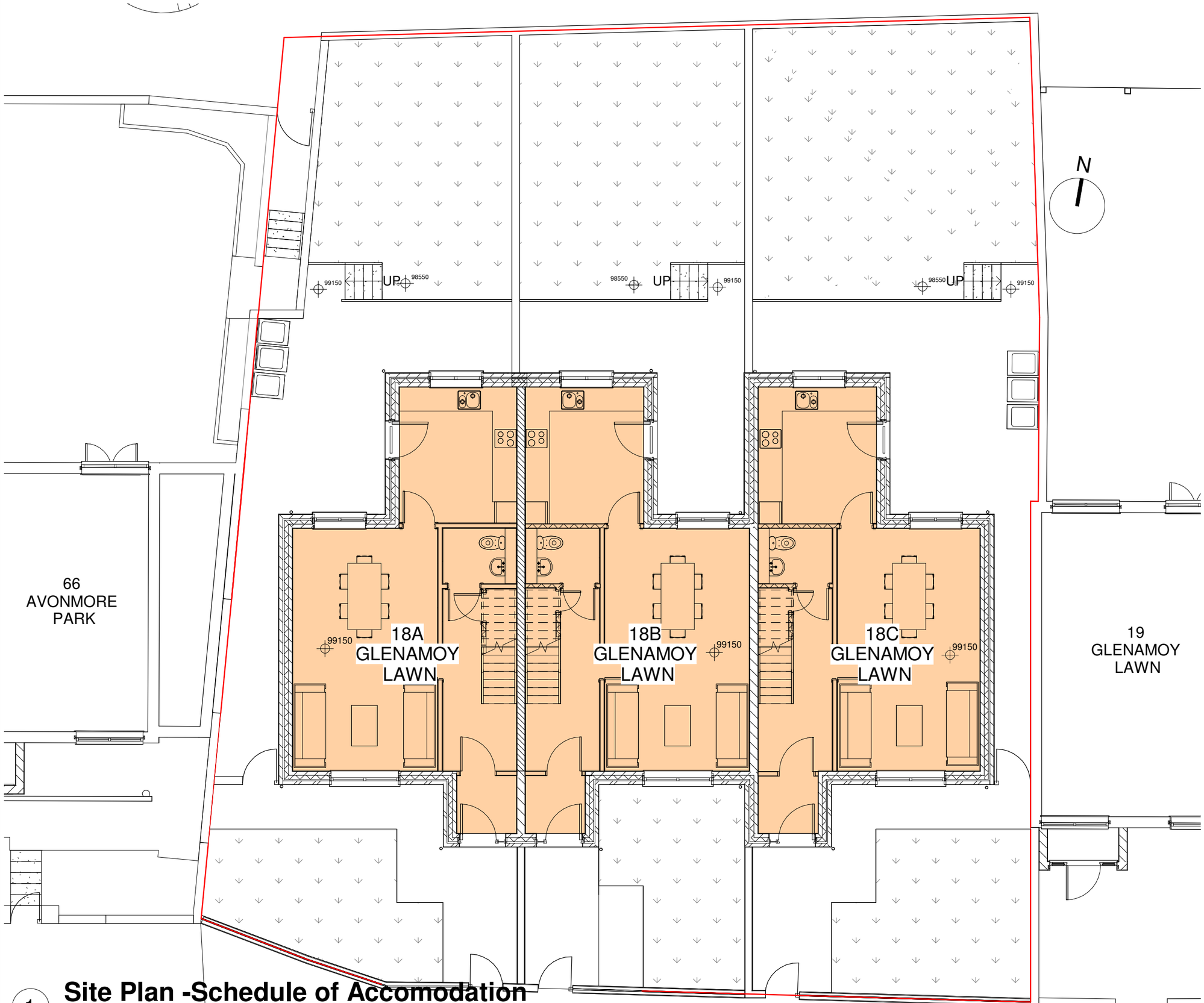
SITE PLANS

Scale 1:500 / 200 @A3
Date November 2019
Drawn By MM
Checked By COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.04	A

Project
18A,18B & 18C Glenamoy Lawn
Infill Housing Project



1 **Site Plan -Schedule of Accomodation**

1 : 100

Do not scale from drawings. Use dimensioned figure only.
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Notes

18 A 3 Bed 2 Storey House Floor Area:100m² Garden Area 25m²

18 B 3 Bed 2 Storey House Floor Area:100m² Garden Area 29m²

18 C 3 Bed 2 Storey House Floor Area:100m² Garden Area 37m²

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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M & E Consultant	Matt O'Mahony & Assoc
Landscape Architect	
Fire Consultant	

Title

SCHEDULE OF ACCOMODATION

Scale	1:100
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.

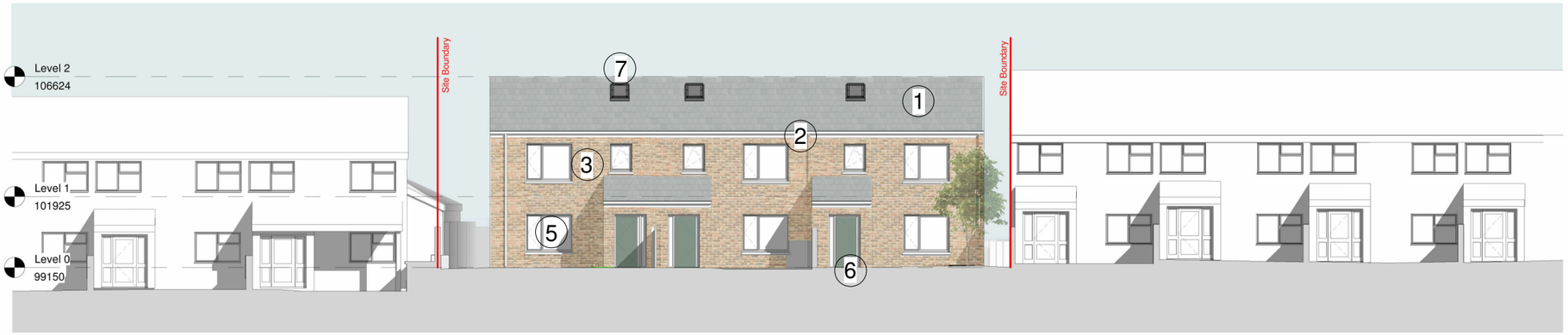
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.05	A

Project

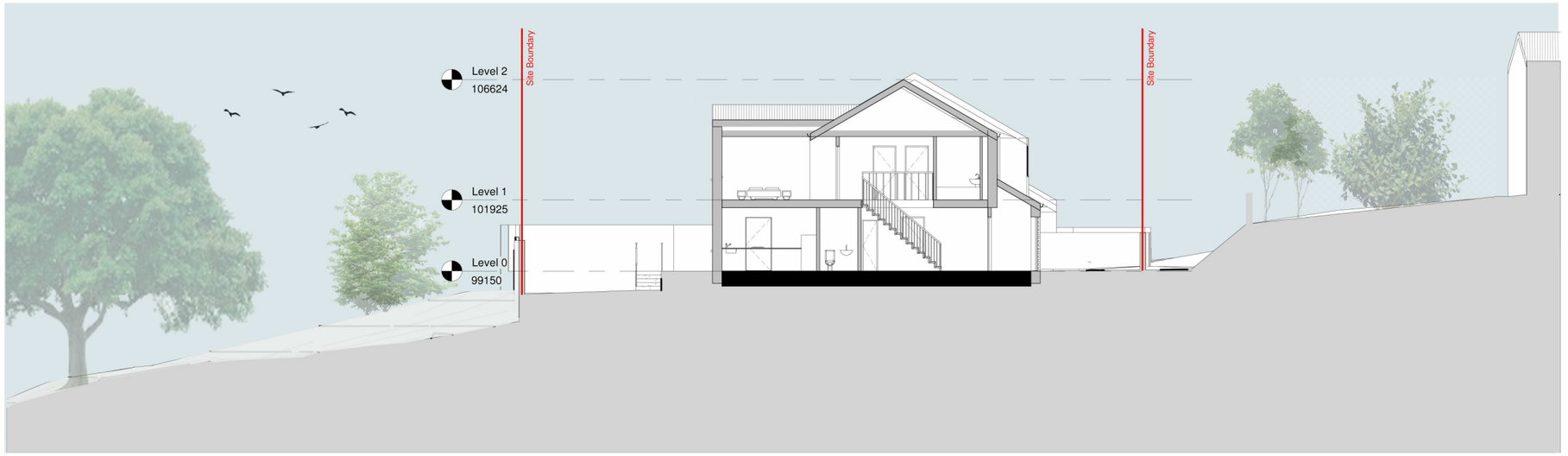
18A,18B & 18C Glenamoy Lawn
Infill Housing Project

PROPOSED



1 **SOUTH CONTEXT ELEVATION** Copy 1
1 : 200

2 **NORTH CONTEXT ELEVATION** Copy
1 : 200



3 **LONG SECTION**
1 : 200

Do not scale from drawings. Use dimensioned figure only.
Contractor to check all dimensions on site.
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Notes

Material Key

1. Gable & Valley Roof with Fibre Cement Slate
2. Extruded Aluminium Gutters and Downpipes
3. Selected Fair-Faced Flush Pointed Brickwork
4. Painted Smooth Render Finish
5. Aluminium Clad Timber Double Glazed Windows
6. Hardwood Door (High security Impact resistant with Double Glazed Window & 5 point locking system)
7. Aluminium Clad Timber Double Glazed Rooflight

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	June 2020

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M & E Consultant	Matt O'Mahony & Assoc
Landscape Architect	
Fire Consultant	

Title

Rendered Elevations & Site Section

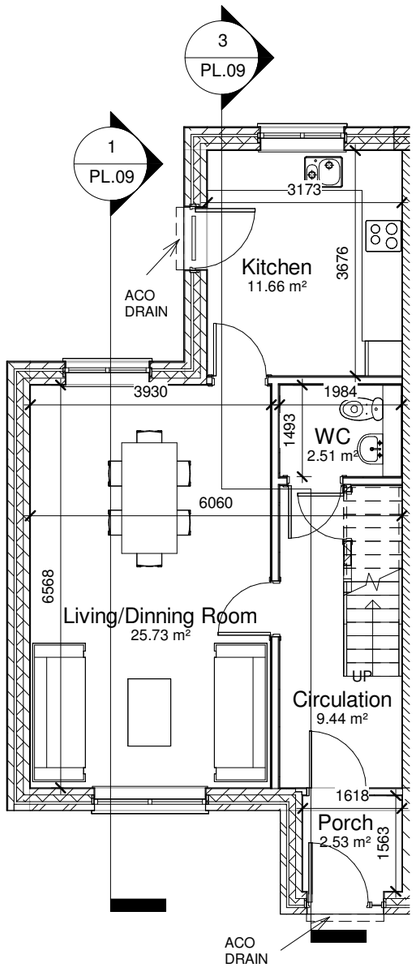
Scale	1:200 @ A3
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.06	A

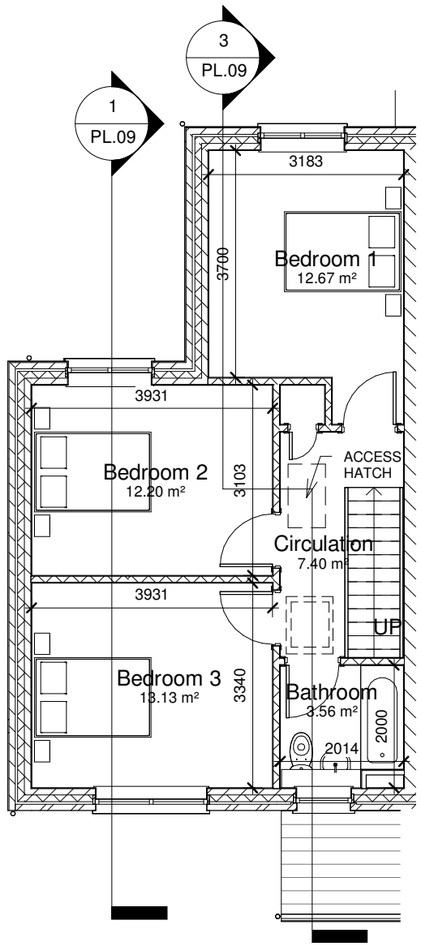
Project
18A,18B & 18C Glenamoy Lawn Infill Housing Project

House Type Room Schedule		
Level	Name	Area
Level 0	Living/Dinning Room	25.7 m²
Level 0	Kitchen	11.8 m²
Level 0	WC	2.5 m²
Level 0	Circulation	9.5 m²
Level 0	Porch	2.5 m²
Level 1	Bedroom 1	12.7 m²
Level 1	Bedroom 2	12.1 m²
Level 1	Bedroom 3	13.1 m²
Level 1	Bathroom	3.5 m²
Level 1	Circulation	7.3 m²
Total NIA		100.8 m²



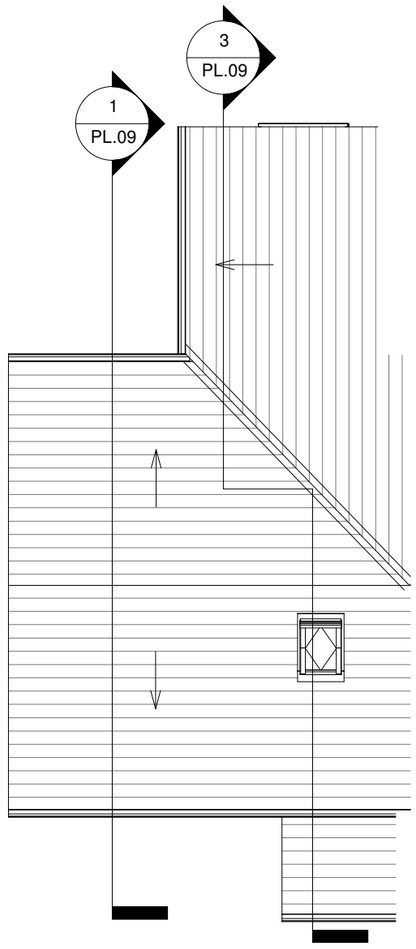
1 Level 0 (Ground Floor Plan)

1 : 100



2 Level 1 (First Floor Plan)

1 : 100



3 Level 2 (Ridge & Eaves Plan)

1 : 100

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Notes

N

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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Landscape Architect	
Fire Consultant	

Title

TYPICAL GA FLOOR PLANS

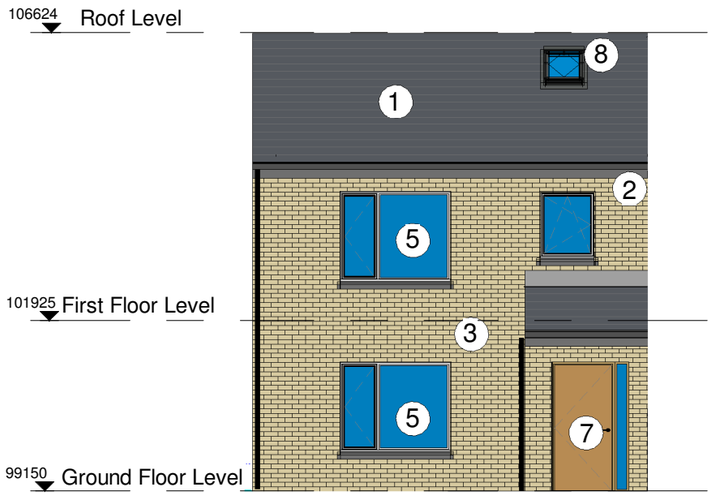
Scale	1:100@A3
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

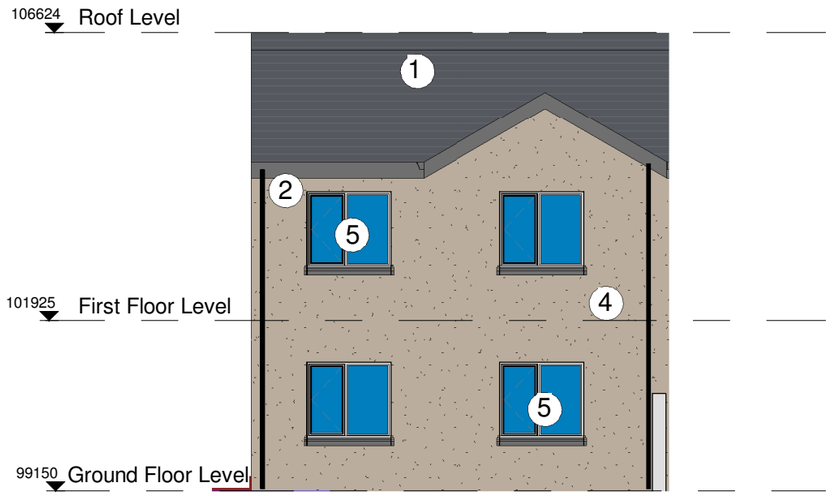
Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.07	A

Project

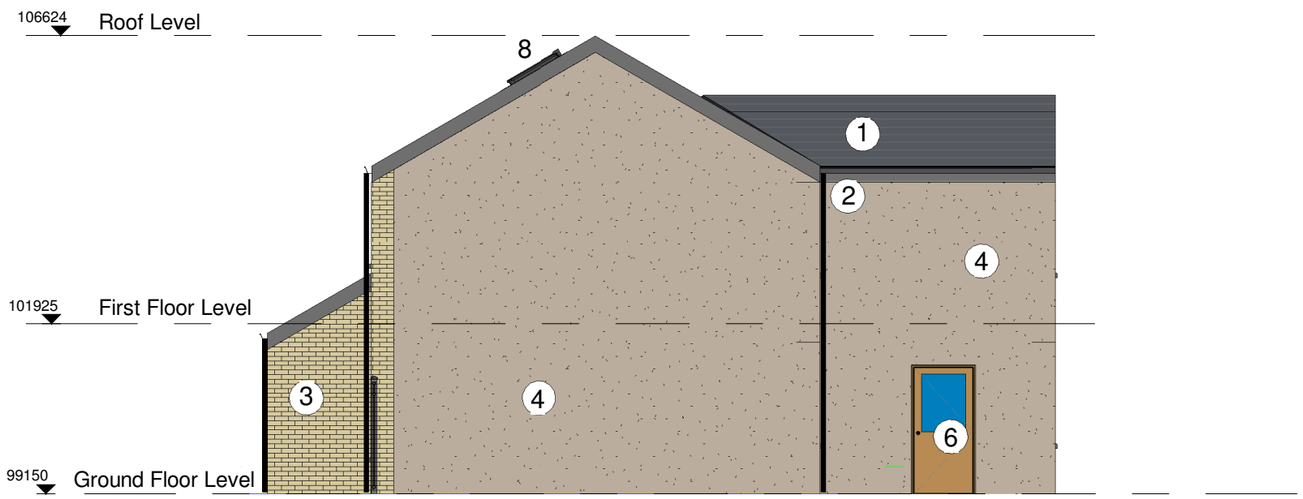
18A,18B & 18C Glenamoy Lawn
Infill Housing Project



1 Front Elevation
1 : 100



2 Rear Elevation
1 : 100



3 Side Elevation
1 : 100

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Notes

Material Key

1. Gable & Valley Roof with Fibre Cement Slate
2. Extruded Aluminium Gutters and Downpipes
3. Selected Fair-Faced Flush Pointed Brickwork
4. Painted Smooth Render Finish
5. Aluminium Clad Timber Double Glazed Windows
6. Hardwood Door (High security Impact resistant with Double Glazed Window & 5 point locking system)
7. Hardwood Door (High security Impact resistant with Side Light & 5 point locking system)
8. Aluminium Clad Timber Double Glazed Rooflight

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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Fire Consultant	

Title

TYPICAL GA ELEVATIONS

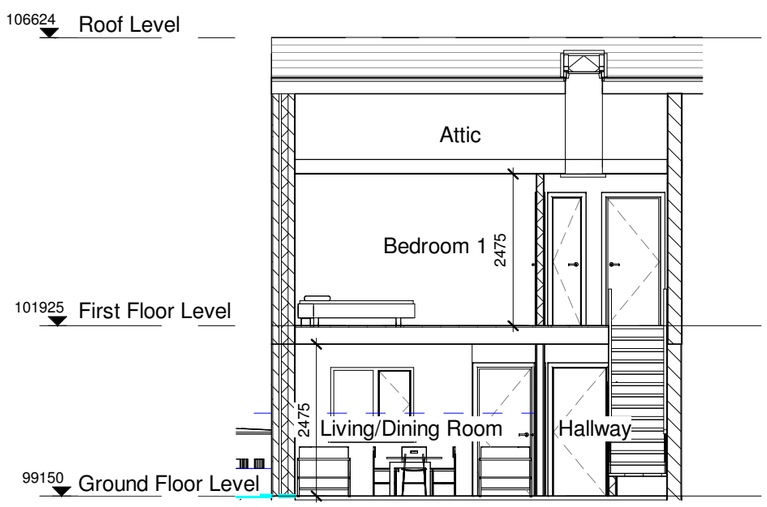
Scale	1:100@A3
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

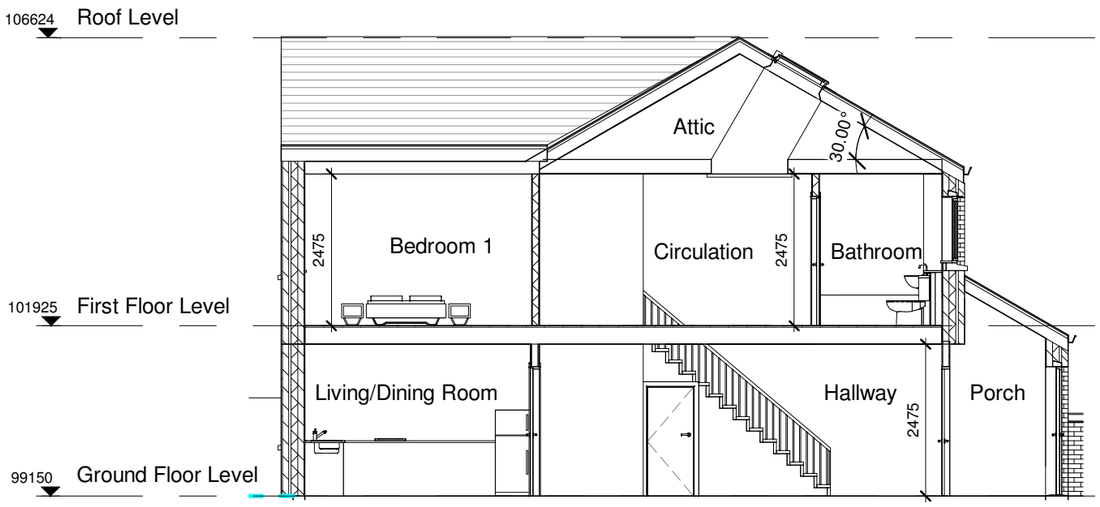
Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.08	A

Project
18A,18B & 18C Glenamoy Lawn Infill Housing Project

1 **Section A-A**
1 : 100



2 **Section B-B**
1 : 100



3 **Section C-C**
1 : 100

Do not scale from drawings. Use dimensioned figure only.
Contractor to check all dimensions on site.
City Architect to be informed of any discrepancies before work proceeds

Notes

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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TONY DUGGAN, CITY ARCHITECT,
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Project Architects	Maeve Mansfield
Project Technicians	Denis Gould
Project Supervisor (PSDP)	DJF Engineering Services
Quantity Surveyor	Tony O'Regan & Assoc
Civil / Structural Consultant	DJF Engineering Services
M & E Consultant	Matt O'Mahony & Assoc
Landscape Architect	
Fire Consultant	

Title
TYPICAL GA SECTIONS

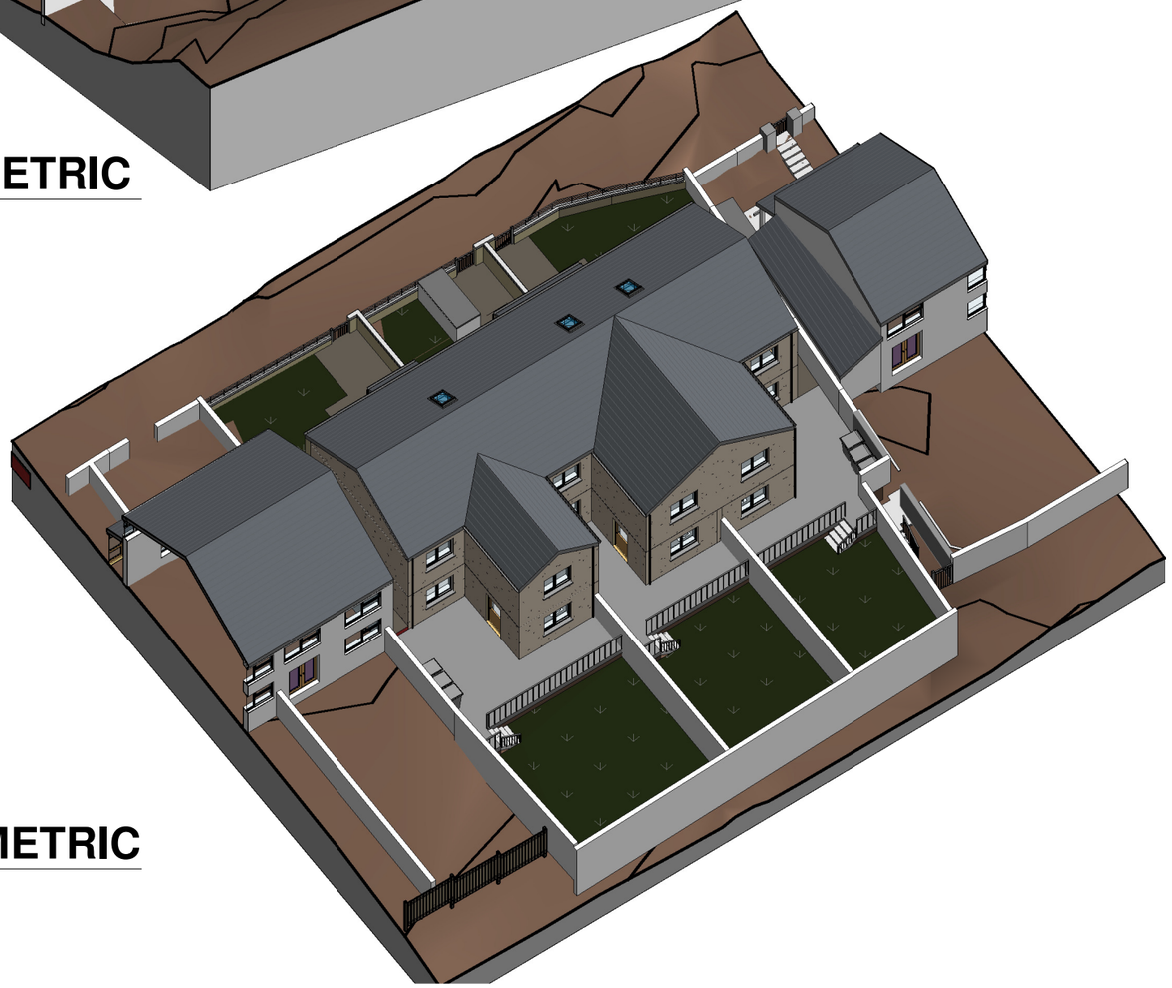
Scale	1:100@A3
Date	November 2019
Drawn By	MM
Checked By	COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.09	A

Project
18A,18B & 18C Glenamoy Lawn Infill Housing Project

1 **SITE NE AXONOMETRIC**



2 **SITE SW AXONOMETRIC**

Do not scale from drawings. Use dimensioned figure only.
Contractor to check all dimensions on site.
City Architect to be informed of any discrepancies before work proceeds

Notes

Rev.	Description	Date
A	Changes to Front and Rear Boundary Walls and addition of Access Ramp	July 2020

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Civil / Structural Consultant	DJF Engineering Services
M & E Consultant	Matt O'Mahony & Assoc
Landscape Architect	
Fire Consultant	

Title

NORTH EAST & SOUTH WEST SITE AXONOMETRICS VIEWS

Scale 1:250@A3
Date November 2019
Drawn By MM
Checked By COB

Plotfiles Ref.
H:\Projects\Housing\New Build\Glenamoy Lawn\Revit\Model

Drawing Status	Job No.	Drawing No.	Rev.
PART 8	-	PL.10	A

Project

18A,18B & 18C Glenamoy Lawn Infill Housing Project

A3

DRAINAGE NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SETTING OUT OF INTERNAL BELOW GROUND DRAINAGE & FOR EXACT COVER LEVELS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND LEVELS SHOWN AGAINST ALL OTHER DRAWINGS PERTAINING TO THIS PART OF THE WORKS.
3. REFER TO ARCHITECTS DRAWINGS FOR LOCATIONS OF RAINWATER DOWNPIPES, SOIL VENT PIPES AND SOIL STACKS.
4. ALL INTERNAL PIPEWORK TO BE CONCRETE ENCASED
5. ALL EXTERNAL PIPEWORK WITH LESS THAN 900mm COVER IN UNPAVED AREAS AND 1200mm COVER IN PAVED AREAS TO BE CONCRETE ENCASED.
6. CONCRETE ENCASEMENT TO CONSIST OF MINIMUM 150mm C15 LEANMIX CONCRETE.
7. ROCKER PIPES SHOULD BE PROVIDED AT ALL LOCATIONS WHERE:
   A PIPE ENTERS OR LEAVES A MANHOLE, PUMPING STATION OR OTHER RIGID STRUCTURE;
   A PIPE ENTERS OR LEAVES A CONCRETE ENCASEMENT;
   AT ANY LOCATION AS DIRECTED BY THE ENGINEER.
   ROCKER PIPE JOINT TO BE LOCATED NO MORE THAN 150mm FROM THE OUTSIDE FACE OF THE STRUCTURE TO WHICH THE PIPEWORK IS SERVING.
   THE EFFECTIVE LENGTH OF THE ROCKER PIPE SHOULD BE:
   PIPE DIAMETER 150mm TO 600mm: 0.60m
   PIPE DIAMETER 600mm TO 750mm: 1.00m
   PIPE DIAMETER GREATER THAN 750mm: 1.25m
   ALL ROCKER PIPES ARE TO BE FORMED BY CUTTING AND TRIMMING A LENGTH OF SPIGOT & SOCKET PIPE TO FORM A SPIGOT AT THE CUT END, THEREBY FORMING SPIGOT & SOCKET JOINTS AT BOTH ENDS OF THE ROCKER PIPE.
8. ALL MANHOLES SHOWN ARE PRECAST CONCRETE UNLESS NOTED OTHERWISE.
9. ROAD GULLIES TO BE PRECAST CONCRETE WITH "LION" LOCKABLE TYPE COVERS, WITH DJCTILE IRON GRATING C250 TO COMPLY WITH I.S. EN 124:1994.
10. ALL LINES TO ROAD GULLIES TO BE 150mm Ø UPVC PIPES U.N.O.
11. ALL FOUL POP-UPS TO BE 100mmØ UPVC U.N.O.
12. ALL FOUL SPURS TO POP-UPS TO BE 100mm Ø UPVC SN4 @ I:40 FALLS U.N.O.
13. ALL INTERNAL MANHOLES TO HAVE LOCKABLE DOUBLE SEALED COVERS & FRAMES.(KMHD 600L IN STAINLESS STEEL BY RICHMOND TRADING OR SIMILAR APPROVED)
14. ALL MANHOLE COVERS TO BE CLASS D HEAVEY DUTY DUCTILE IRON COVER. COVER AND FRAME TO IS EN124.
15. CHANNEL DRAIN TO BE TYPE ACO N100K WITH CLASS C STAINLESS STEEL QUICKLOCK GRATING OR SIMILAR APPROVED.
16. ALL SPURS TO RAINWATER PIPES TO BE 100mm Ø UPVC SN4 @ 1:40 FALLS U.N.O.
17. UNLESS OTHERWISE NOTED, STORM LINES BETWEEN MANHOLES TO BE 225mm Ø RIGIDRAIN ADS POLYETHYLENE PIPES OR SIMILAR APPROVED
18. UNLESS OTHERWISE NOTED, FOUL LINES BETWEEN MANHOLES TO BE 150mm Ø UPVC SN8 U.N.O.
19. ALL INTERNAL FOUL LINES TO BE 100mm Ø UPVC SN4 @ 1:40 FALLS U.N.O.
20. ALL FOUL LINES FROM INTERNAL GULLIES TO BE 100mm Ø UPVC SN4 @ 1:40 FALLS U.N.O.
21. ALL FOUL LINES FROM INSPECTION CHAMBER AT SITE BOUNDARY TO MAINLINE TO BE 100mm Ø UPVC SN8 @ 1:40 FALLS U.N.O.
22. ALL SPUR CONNECTIONS SHOWN ON LINES TO BE 45° 'Y' BENDS U.N.O.
23. ALL FRENCH DRAINS TO BE 150mm Ø PERFORATED UPVC PIPE WRAPPED IN GEOTEXTILE TYPICALLY LAID ABOVE RETAINING WALL FOOTINGS AND SURROUNDED IN MIN. 200mm OF CLEAN WASHED STONE.
24. ALL DRAINAGE MATERIALS AND WORKMANSHIP TO COMPLY WITH LOCAL AUTHORITY SPECIFICATION.
25. SETTING OUT OF POP-UPS INTERNALLY TO BE COORDINATED BY CONTRACTOR IN CONJUNCTION WITH ARCHITECTS DRAWINGS.

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Cork City Council
Comhairle Cathrach Chorcaí

Status
PLANNING

Project Title
Northside Infill Housing
GLENAMOY LAWN

Drawing Title
General Notes
Sheet 1

Scales	Drawing No.	Rev
NTS -A3	4065-120	A

A3

REFER TO DRAWINGS 4065–120 FOR GENERAL DRAINAGE NOTES

Distribution System to be in accordance with Irish Water Standard Details and located as per Building Service Engineers drawings

All proposed watermains to be 100mm high density polyethylene pipes in accordance with Irish water details. Irish standard I.S 135 and British standard B.S 3284:1967 – Polyethylene pipes and BS 6572 & BS 6730

N

LEGEND:

WATERMAIN	WM
PUBLIC LGT'ING	
COMMUNICATION	COM
ELECTRICAL CABLE	
GASMAIN	GAS
TELECOM LINE	EIR
NTL DUCTING	UPC
VIRGIN MEDIA	VIR
MAGNET FIBRE	MAG
FOUL DRAINAGE	
STORM DRAINAGE	
STORM CULVERT	
DRAINAGE UNKNOWN	
TRAFFIC CONTROL	TRF
UNIDENTIFIED GPR	
DUCTING	
OIL PIPE	
FIBRE OPTIC CABLE	FO

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Cork City Council
Comhairle Cathrach Chorcaí

Status: **PLANNING**

Project Title: **Northside Infill Housing GLENAMOY LAWN**

Drawing Title: **Existing Underground Utilities**

Scales	Drawing No.	Rev
1:100 -A3	4065–122	A

A2

REFER TO DRAWINGS 4065-1206 FOR GENERAL DRAINAGE NOTES

EXISTING UNDERGROUND SERVICES

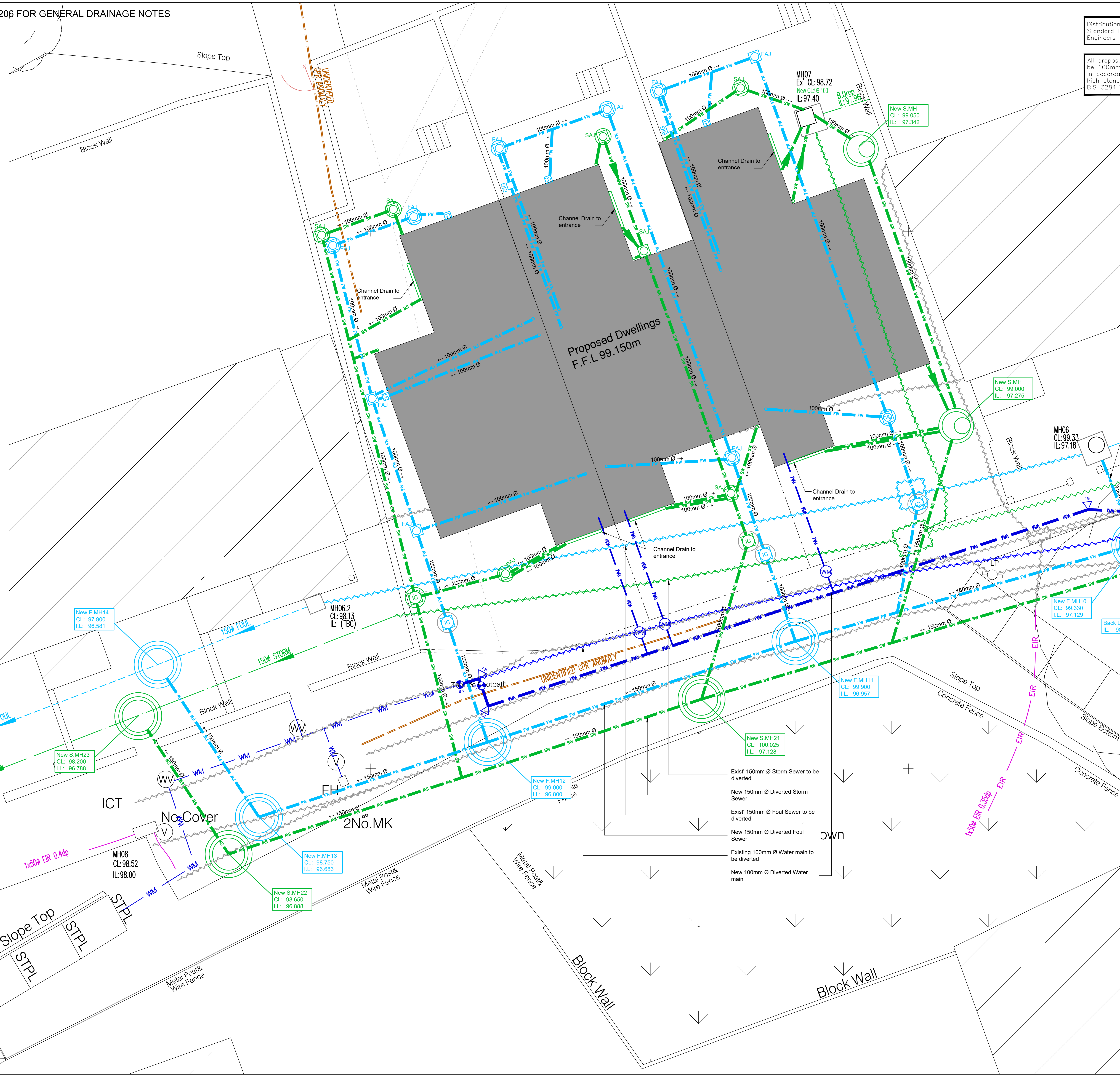
- EXISTING FOUL SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GASMAIN
- EXISTING Exist' ELECTRICAL CABLE
- EXISTING TExist' ELECOM LINE
- EXISTING NTL DUCTING
- UNIDENTIFIED GPR

PROPOSED UNDERGROUND SERVICES

- EXISTING FOUL SEWER TO BE REMOVED
- PROPOSED FOUL SEWER 100mm Ø PVC (unless marked on plan)
- EXISTING STORM SEWER TO BE REMOVED
- PROPOSED STORM SEWER 100mm Ø PVC (unless marked on plan)
- AJ ACCESS JUNCTION
- IC INSPECTION CHAMBER
- MH MANHOLE
- GT DRAINAGE GULLY
- BIG BACK INLET GULLY
- EXISTING WATERMAIN TO BE REMOVED
- PROPOSED WATERMAIN
- S.V SLUICE VALVE TO IRISH WATER DETAILS
- T.B THRUST BLOCK TO IRISH WATER DETAILS
- FH FIRE HYDRANT TO IRISH WATER DETAILS
- WM WATER METER TO IRISH WATER DETAILS
- REFER TO BUILDING SERVICES ENGINEERS DRAWINGS FOR DETAILS OF OTHER EXISTING U/G SERVICES TO BE REMOVED OR DIVERTED

Distribution System to be in accordance with Irish Water Standard Details and located as per Building Service Engineers drawings

All proposed watermains to be 100mm high density polyethylene pipes in accordance with Irish water details. Irish standard I.S 135 and British standard B.S 3284:1967 – Polyethylene pipes and BS 6572 & BS 6730



REV	DETAILS	BY	CH'D	DATE
C	ISSUED FOR PLANNING	FH	SH	07.07.20
B	ISSUED FOR PLANNING	FH	SH	29.11.19
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Client: Cork City Council
Comhairle Cathrach Chorcaí

Status: PLANNING

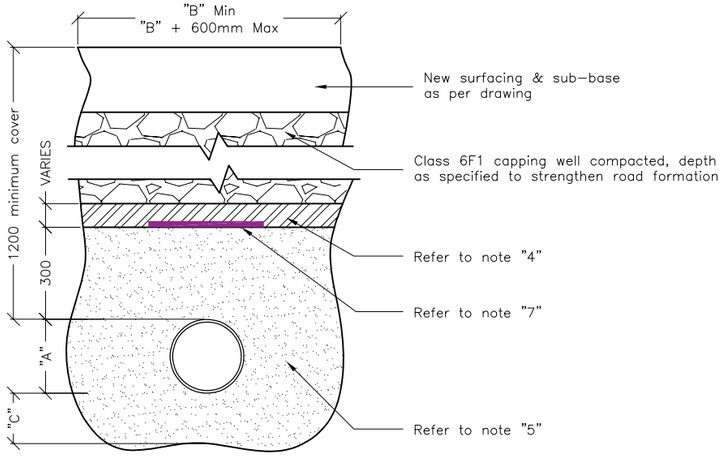
Project Title: Glenamoy Lawn Northside Infill Housing

Drawing Title: Proposed Site Drainage

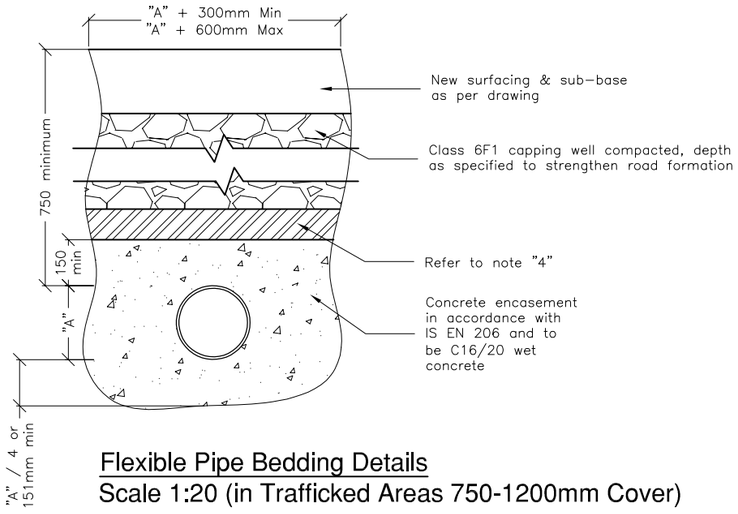
Scales	Drawing No.	Rev
1:100 -A2	4065-122	C

A3

REFER TO DRAWINGS 4065–120 FOR GENERAL DRAINAGE NOTES

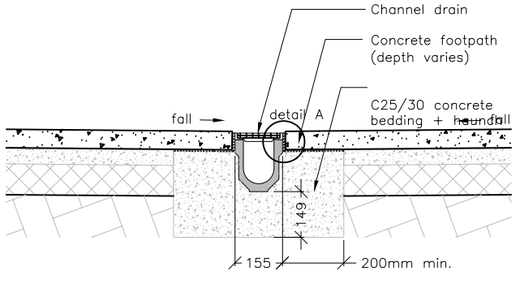


Flexible Pipe Bedding Details
Scale 1:20 (in Trafficked Areas 1200-4500 Cover)

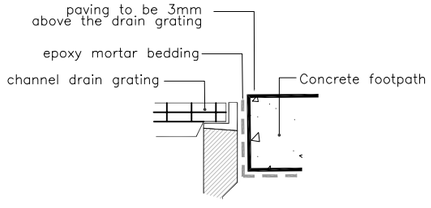


Flexible Pipe Bedding Details
Scale 1:20 (in Trafficked Areas 750-1200mm Cover)

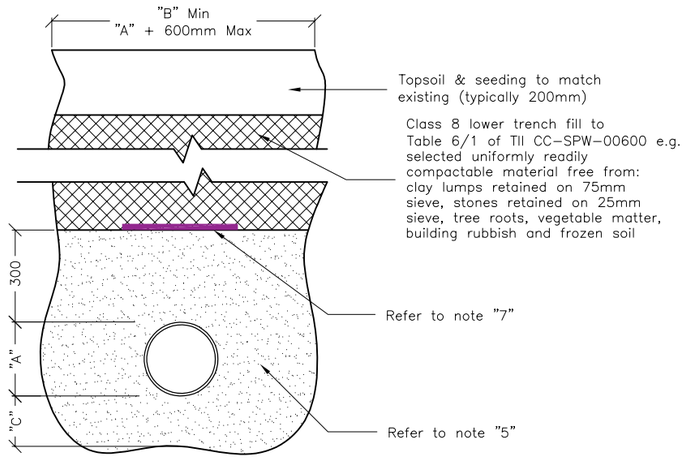
All drains within front driveways to be concrete encased



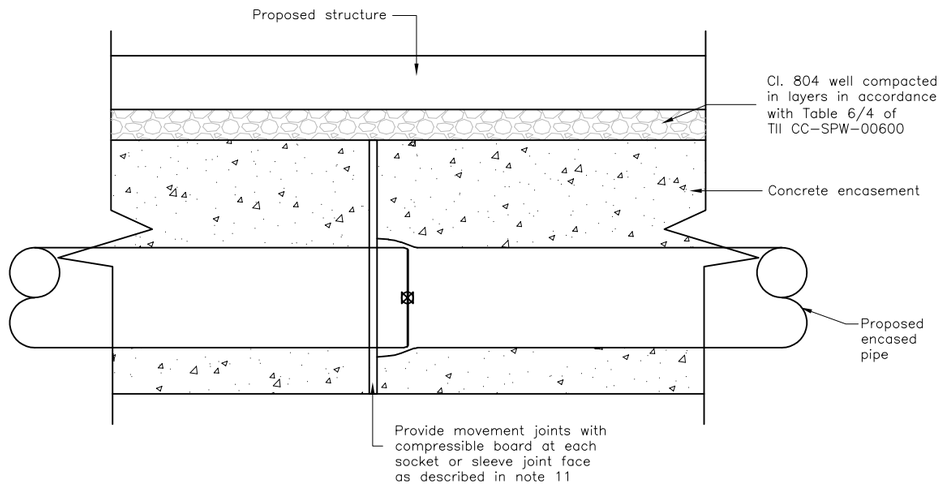
Channel Detail / Section
Scale 1:20



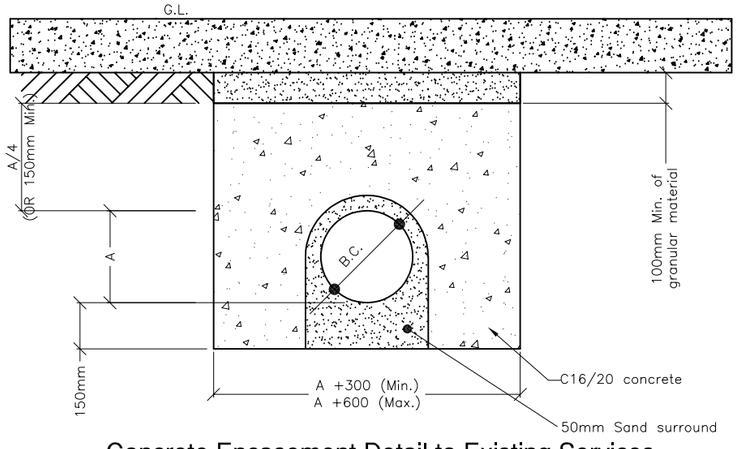
Detail / Section A
Scale 1:5



Flexible Pipe Bedding Details
Scale 1:20 (in Non Trafficked Areas)



Concrete Encasement Movement Joint Detail
N.T.S (Elevational)



Concrete Encasement Detail to Existing Services
N.T.S (Sectional)

NOTES

1. All dimensions are in millimeters.
2. Dimension "A" is the external diameter of the pipe.
3. The minimum and maximum width of the trench applies on and below a line 300mm above the outside top of the pipe. Above the 300mm line, the trench back fill material shall be as described in note 4 for trafficed areas, or as shown in the "Flexible Pipe bedding" detail for non trafficed areas.
4. Clause 804 / 808 material in accordance with the national roads authority specification for road works. Clause 804 / 808 is to be compacted as per clause 802 of the national roads authority specification for road works. Clause 808 is to be used within 500mm of cement bound materials, concrete pavements, concrete structures or concrete products. Otherwise clause 804 may be used.
5. Pipe bedding shall comply with WIS 4–08–02 and IGN 4–08–01 granular material shall be 14mm to 5mm graded aggregate or 10mm single sized aggregate is EN 13242.
6. Pipes shall not be supported on stones, rocks or any hard objects at any point along the trench. Rock shall be excavated to a depth of 150mm below the actual depth of the trench with the void filled with clause 804 / 808 material in accordance with the national roads authority specification for road works. The granular material shall be laid above this void backfill material.
7. Non degradable marker tape should be installed at top of pipe bedding layer. In the case of non metal pipe material, the marker tape should incorporate a trace wire which is linked to fittings and terminated at the waste water pumping station and the discharge manhole.
8. The concrete bed or surround may extend to the sides of the trench or be minimum width. Material to Clause 503.3(iii) is to be used to fill any voids so formed.
9. For concrete encasement, the concrete cover may be formed to a radius batter or horizontal surface. minimum cover of concrete shall be 150mm.
10. The haunches and surrounds to be formed using form work to provide rough cast finish.
11. Expansion joints in the concrete shall be provided at all pipe joints to allow for pipe flexibility, compressible filler board to be in accordance with BS EN 622–1 and BS EN 622–4, and be 18mm thick.
12. Polyethylene pipes shall be wrapped in plastic sheeting having a composition in accordance with BS 6076 before being cast into concrete.
13. Bituminous material shall not be put in contact with PE or PVC pipes.

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Status: PLANNING

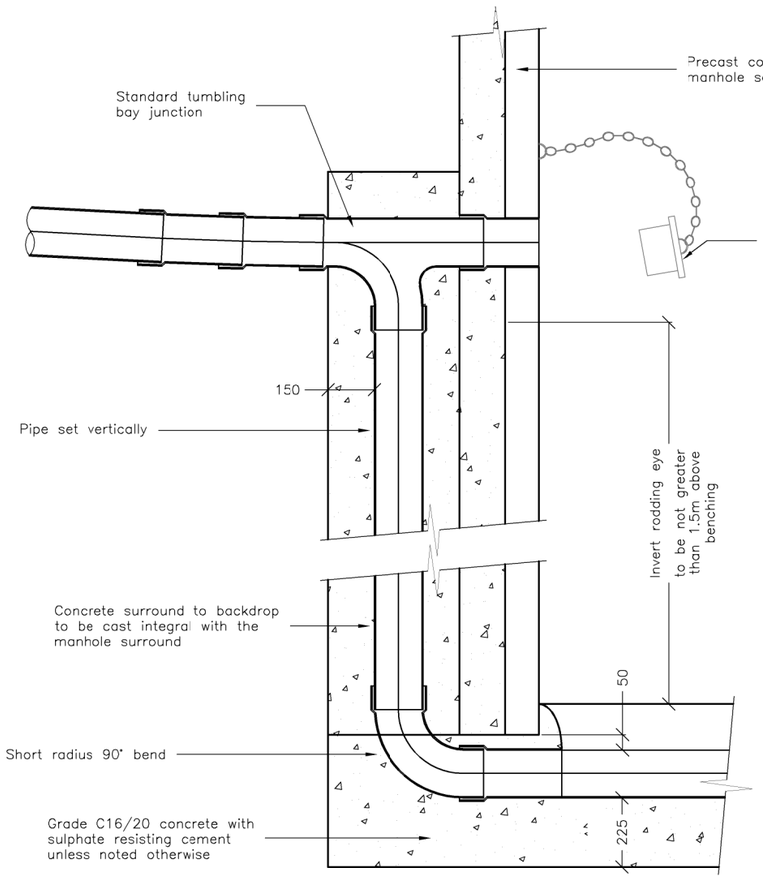
Project Title: Northside Infill Housing GLENAMOY LAWN

Drawing Title: Drainage Details Sheet 1

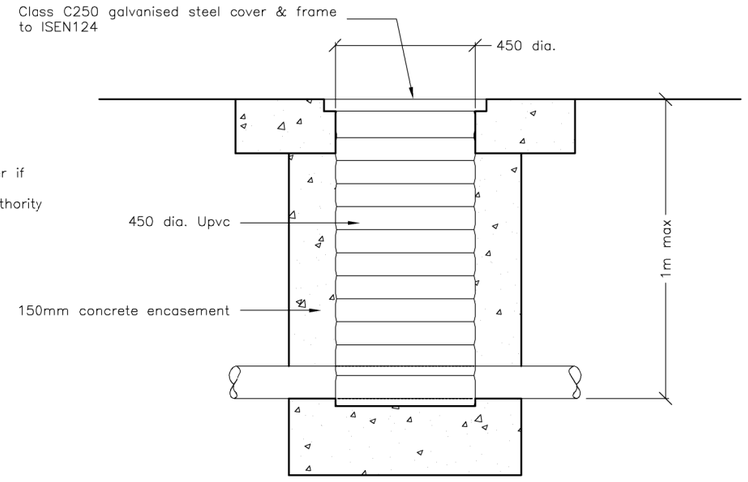
Scales	Drawing No.	Rev
as shownA3	4065–125	A

A3

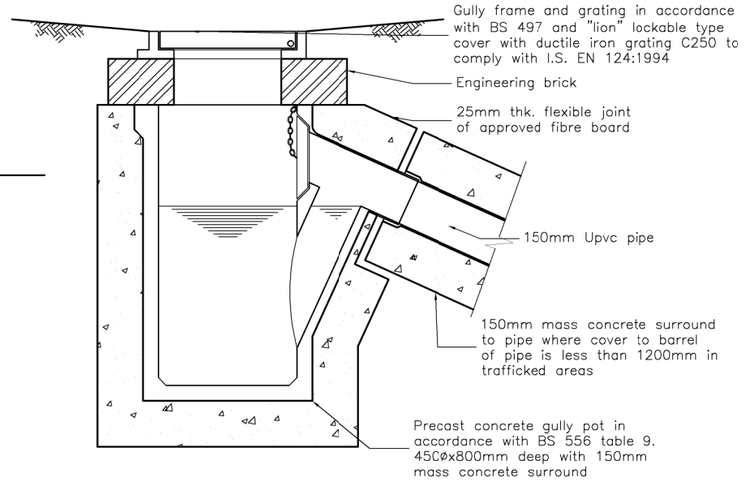
REFER TO DRAWINGS 4065–120 FOR GENERAL DRAINAGE NOTES



Typical Vertical Backdrop detail
Scale 1:20

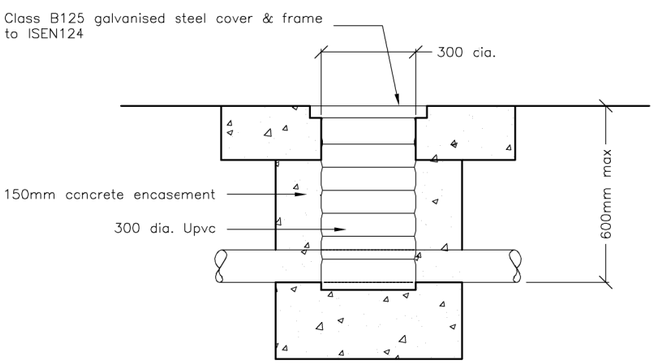


Typical Inspection Chamber detail
Scale 1:20



Typical Precast Concrete Gully
Scale 1:20

1. Gullies to comply with BS 5911.
2. Gullies shall be fully surrounded with concrete grade C15/20 to a min of 150mm thk, and comply with BS5328.
3. Gully gratings and frames to be ductile iron to BS EN 124 1994. Grating and frame to be set with hinge facing the direction of traffic.
4. Gully frames to be set with 3:1 sand cement mortar.
5. Class b engineering bricks to be used for any make up to gully frames.



Typical Access Junction detail
Scale 1:20

Standard Details for Wastewater Networks – Index

Drawing No.	Drawing Title
STD–WW–01	Waste water service connection responsibility (Rev–1)
STD–WW–02	Typical layout for sewer within new developments (Rev–1)
STD–WW–03	Drain & service connection pipework (Rev–1)
STD–WW–04	Typical sewer / service pipe connection (Rev–1)
STD–WW–05	Typical service layout indicating separation distances (Rev–1)
STD–WW–06	Restrictions on wastewater infrastructure adjacent to trees (Rev–1)
STD–WW–06A	Restrictions on new trees/shrubs planting adjacent to sewers (Rev–0)
STD–WW–07	Trench backfill & bedding (Rev–1)
STD–WW–08	Concrete bed, haunch & surround to wastewater pipes (Rev–2)
STD–WW–09	Blockwork manhole (<450mm dia.) (Rev–2)
STD–WW–10	Pre–cast concrete manhole (Rev–2)
STD–WW–11	In–situ concrete manhole (Rev–2)
STD–WW–12	Backdrop manholes (Rev–2)
STD–WW–13	Private side inspection chamber (Rev–2)
STD–WW–14	Thrust blocks for rising mains (Rev–1)
STD–WW–15	Scour valve chamber (foul rising main <200mm dia.) (Rev–2)
STD–WW–16	Sluice valve details for rising mains ductile iron (D.I.) pipe (<200mm dia.) (sheet 1 of 2) (Rev–3)
STD–WW–17	Sluice valve details for rising mains polyethylene (P.E.) pipe (<200mm dia.) (sheet 2 of 2) (Rev–2)
STD–WW–18	Air valve chamber (foul rising main <200mm dia.) (Rev–2)
STD–WW–19	Duct chamber (Rev–2)
STD–WW–20	Emergency overflow structure (Rev–1)
STD–WW–21	Typical ditch/stream crossing for gravity main (sheet 1 of 2) (Rev–1)
STD–WW–22	Typical ditch/stream crossing for rising main (sheet 2 of 2) (Rev–1)
STD–WW–23	Typical bridge crossing for rising main (sheet 1 of 2) (Rev–1)
STD–WW–24	Typical bridge crossing for rising main (sheet 2 of 2) (Rev–1)
STD–WW–25	Security gate & fencing (Rev–2)
STD–WW–26	Indicative pumping station layout (Rev–0)
STD–WW–27	Flow meter chamber (foul rising main <200mm dia.) (Rev–2)
STD–WW–28	Indicative submersible pumping station (Rev–2)
STD–WW–28A	Indicative pre–cast concrete submersible pumping station (Rev–1)
STD–WW–29	Rising main discharge manhole (Rev–2)
STD–WW–30	Kiosk type 1 pumping station & wet kiosk (sheet 1 of 2) (Rev–2)
STD–WW–31	Kiosk type 2 + 3 pumping station & wet kiosk (sheet 2 of 2) (Rev–2)
STD–WW–32	Hardstanding area pumping station (permeable & impermeable) (Rev–1)
STD–WW–33	Lamp bollard & lamp standard (Rev–1)
STD–WW–34	Vent stack (Rev–1)

- All waste water details to be in accordance with Irish Water Standard Details, as listed in the above table, and available at www.water.ie.
- Irish Water Details to take precedence where there are any discrepancies with the DJF Engineering drawings and specifiction.
- Inspection chambers to have class C250 galvanized steel cover and frame to ISEN124, and to be installed with a maximum invert depth of 1m.

NOTES

1. The contractor shall be responsible for checking all dimensions and all levels shown against all other drawings pertaining to this part of works.
2. Clauses referred to on this drawing are the clauses in the national roads authority's latest specification for road and bridge works U.N.O.
3. All drainage materials and workmanship to comply with local authority specification.
4. All dimension in millimetres unless noted otherwise.
5. Any reference to National Authority Standards should include any amendments, revisions, or updates relevant to that standard.

GENERAL NOTES;

This drawing is not to be scaled:

Figured dimensions only to be used.

All dimensions to be site checked.

This drawing is to be read in conjunction with other project related drawings.

The contractor shall be responsible for checking all dimensions and levels shown against all other drawings which pertain to this part of the works.

All dimensions are in millimetres

All levels relate to site datum and station points.

All levels to be checked on site

Background footprint is based on architectural information received. DJF do not accept responsibility for accuracy or update of architectural backgrounc.

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Cork City Council
Comhairle Cathrach Chorcaí

Status: PLANNING

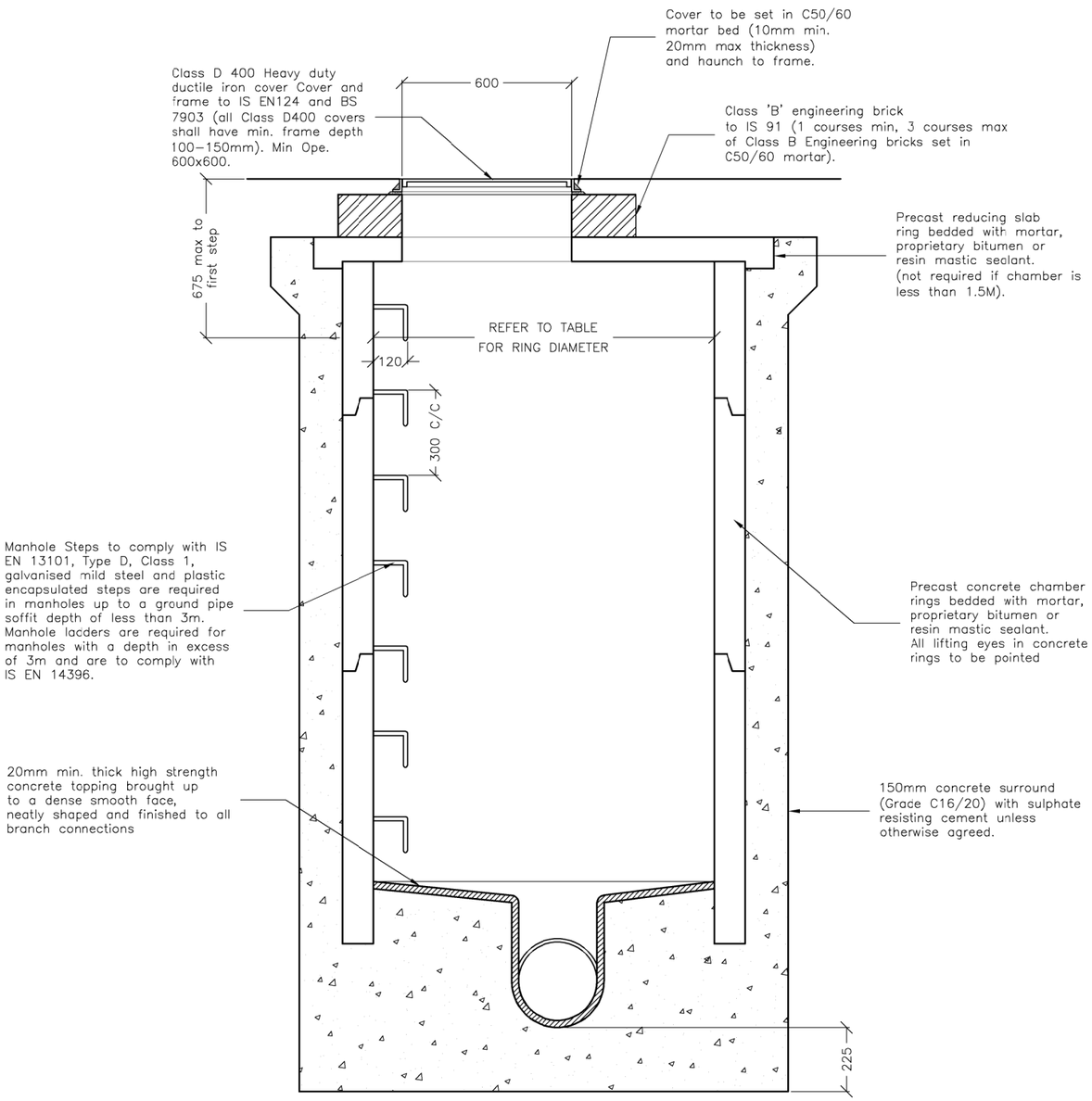
Project Title: Northside Infill Housing
GLENAMOY LAWN

Drawing Title: Drainage Details
Sheet 2

Scales	Drawing No.	Rev
as shownA3	4065–126	A

A3

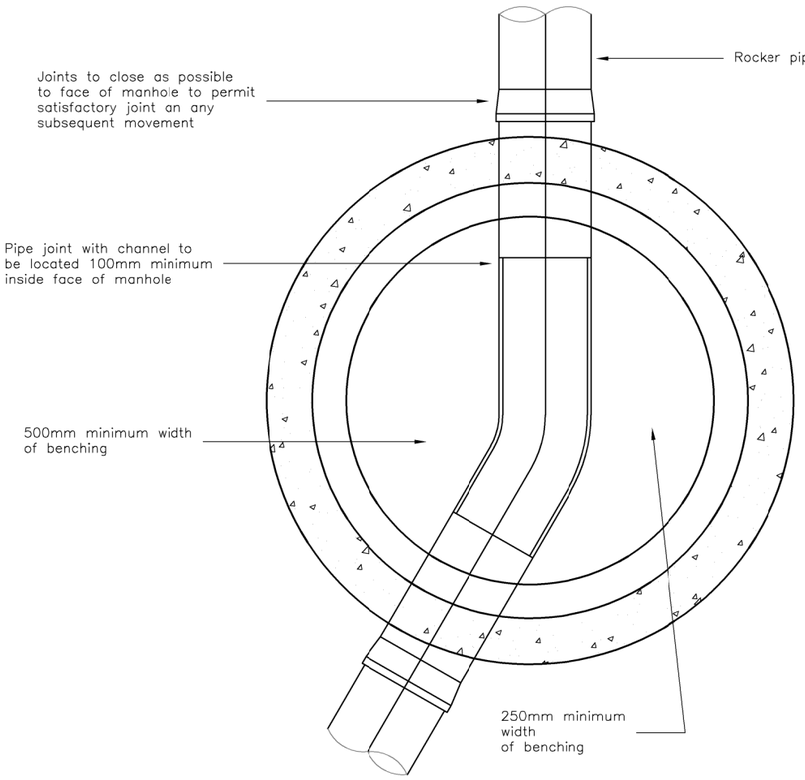
REFER TO DRAWINGS 4065–120 FOR GENERAL DRAINAGE NOTES



Manhole Detail (Up to 3m Deep)
Scale 1:20

NOTES

1. The contractor shall be responsible for checking all dimensions and all levels shown against all other drawings pertaining to this part of works.
2. Clauses referred to on this drawing are the clauses in the national roads authority's latest specification for road and bridge works U.N.O.
3. All drainage materials and workmanship to comply with local authority specification.
4. All dimension in millimetres unless noted otherwise.
5. Any reference to National Authority Standards should include any amendments, revisions, or updates relevant to that standard.



DIAMETER OF LARGEST PIPE IN MANHOLE (mm)	INTERNAL DIAMETER MANHOLE (mm)
LESS THAN 375	1200 (1050 IF DEPTH TO SOFFIT IS LESS THAN 1.5m)
375 – 450	1350
500 – 750	1500
750 – 900	1800

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Cork City Council
Comhairle Cathrach Chorcaí

Status: PLANNING

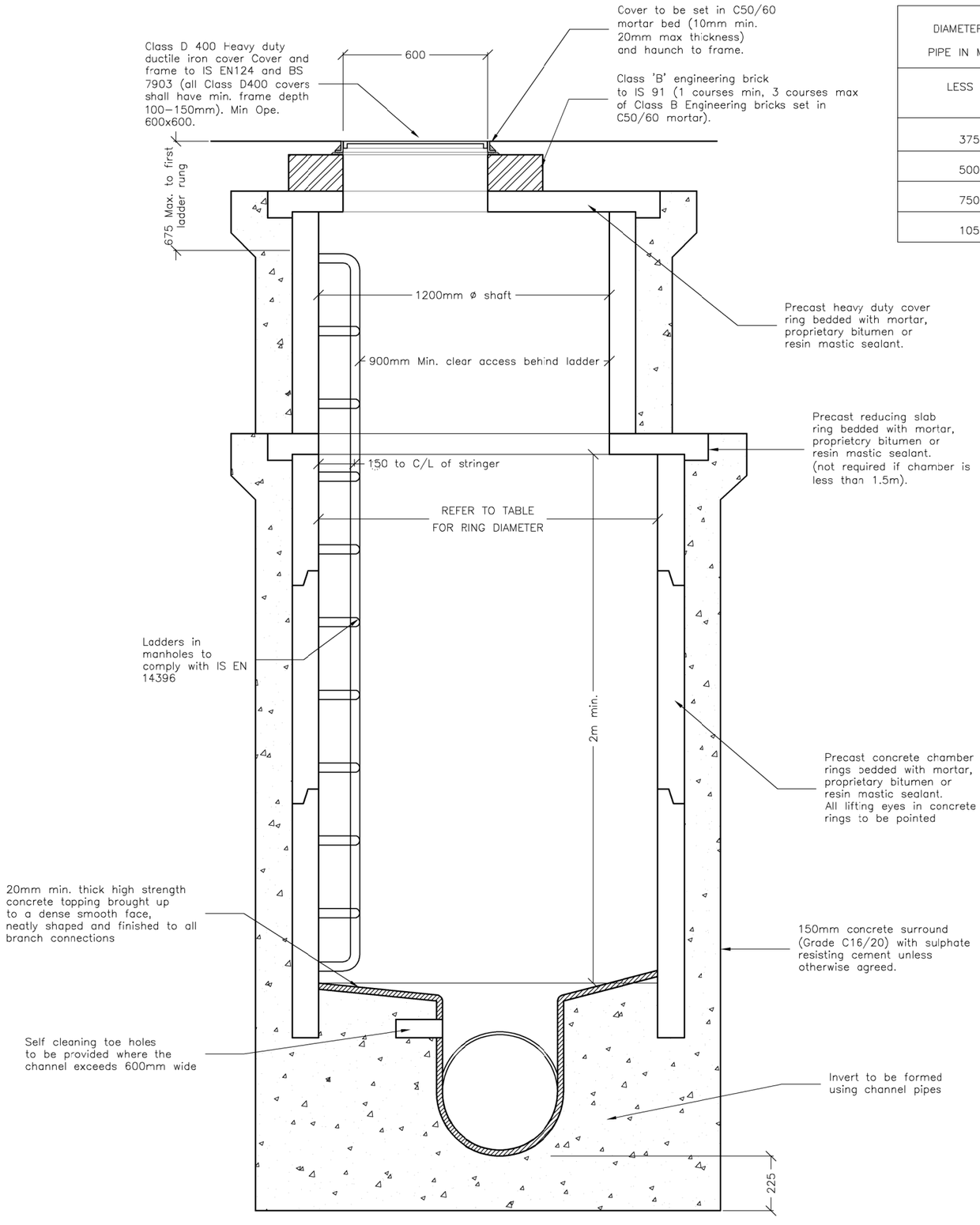
Project Title: Northside Infill Housing GLENAMOY LAWN

Drawing Title: Drainage Details Sheet 3

Scales	Drawing No.	Rev
as shownA3	4065–127	A

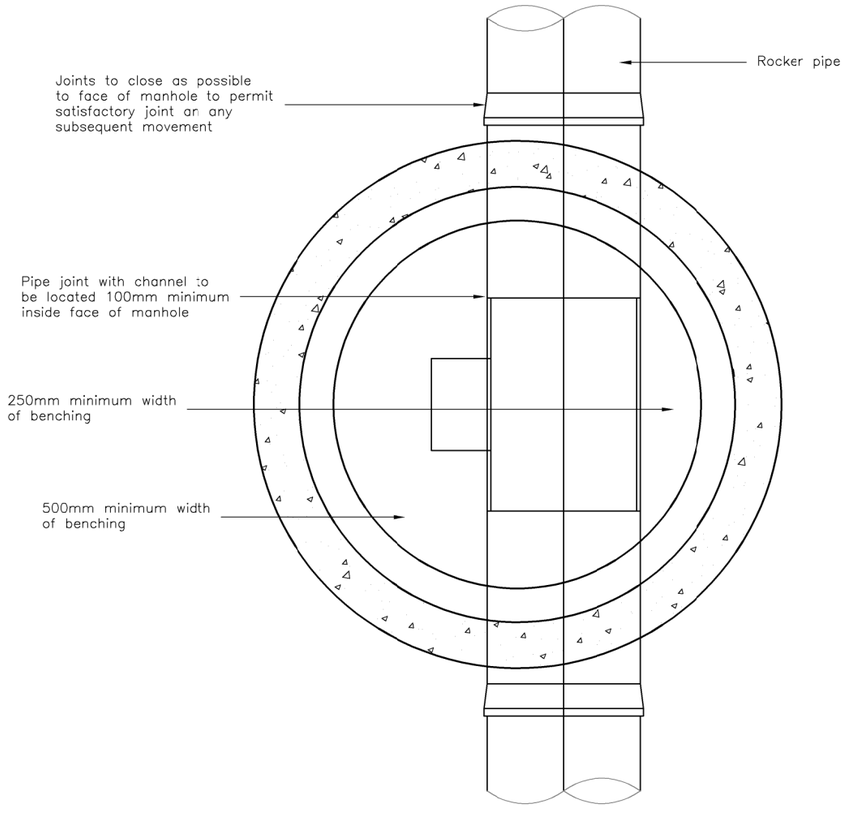
A3

REFER TO DRAWINGS 4065–120 FOR GENERAL DRAINAGE NOTES



Manhole Detail (3m to 6m Deep)
Scale 1:20

DIAMETER OF LARGEST PIPE IN MANHOLE (mm)	INTERNAL DIAMETER MANHOLE (mm)
LESS THAN 375	1200 (1050 IF DEPTH TO SOFFIT IS LESS THAN 1.5m)
375 – 450	1350
500 – 700	1500
750 – 900	1800
1050–1200	2100



Base Plan Detail
Scale 1:20

NOTES

1. The contractor shall be responsible for checking all dimensions and all levels shown against all other drawings pertaining to this part of works.
2. Clauses referred to on this drawing are the clauses in the national roads authority's latest specification for road and bridge works U.N.O.
3. All drainage materials and workmanship to comply with local authority specification.
4. All dimension in millimetres unless noted otherwise.
5. Any reference to National Authority Standards should include any amendments, revisions, or updates relevant to that standard.

REV	DETAILS	BY	CH'D	DATE
A	ISSUED FOR PLANNING	FH	SH	05.11.19

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Status
PLANNING

Project Title
Northside Infill Housing
GLENAMOY LAWN

Drawing Title
Drainage Details
Sheet 4

Scales	Drawing No.	Rev
as shownA3	4065–128	A