



SITE LOCATION MAP
SCALE 1:10560

MAP DETAILS

Description:
Historic 6" Latest Edition

Publisher / Source:
Ordnance Survey Ireland (OSI)

Data Source / Reference:
CK073
Revision Date =
Survey Date = 31-Dec-1934
Levelled Date = 31-Dec-1939

CK074
Revision Date =
Survey Date = 31-Dec-1928
Levelled Date = 31-Dec-1956

CK085
Revision Date =
Survey Date = 31-Dec-1934
Levelled Date = 31-Dec-1940

CK086
Revision Date =
Survey Date =
Levelled Date = 31-Dec-1938

9900-01
Revision Date =
Survey Date =
Levelled Date = 01-Jan-2001

File Format:
Tagged Image File Format (TIFF)

File Name:
R_50009419_1.tif

Clip Extent / Area of Interest (AOI):
LLX,LLY= 560372.0,567056.0
LRX,LRX= 567382.0,567056.0
ULX,ULY= 560372.0,572250.0
URX,URY= 567382.0,572250.0

Projection / Spatial Reference:
IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
X,Y = 563877.0,569653.0

Data Extraction Date:
29-May-2018

Version / Release:
1.0

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P3	ISSUE FOR PLANNING	02.06.20
No.	Revision/Issue	Date

Firm Name and Address

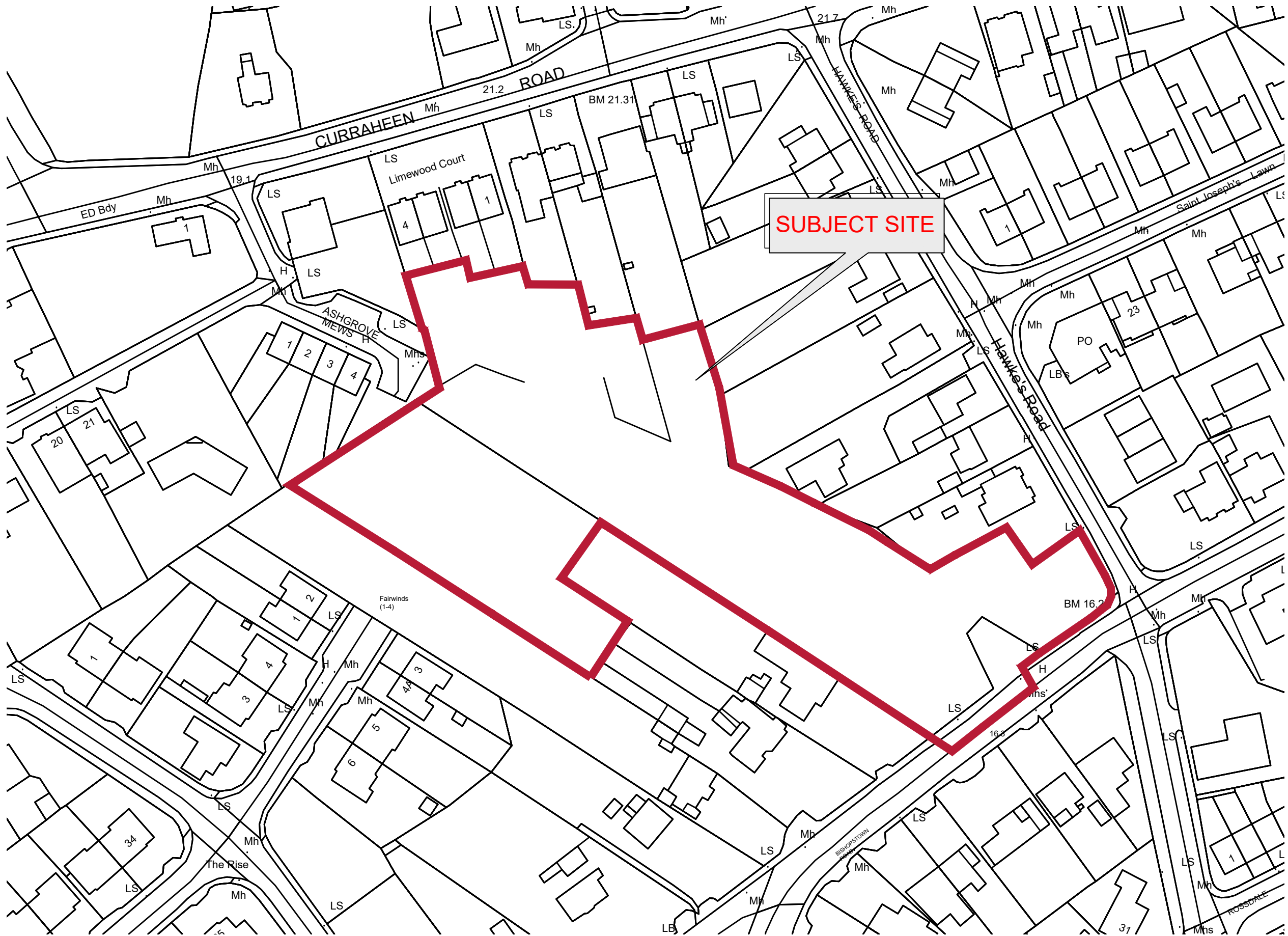
**DEADY
GAHAN** 
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project Name and Address

RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD &
BISHOPSTOWN ROAD, BISHOPSTOWN ROAD,
BISHOPSTOWN, CORK CITY

Drawing Title	Date
SITE LOCATION MAP	09.07.18
Drawing No.	Drawn
17147-P-001	AV
Scale	Sheet No.
1:10560 @ A3	1 of 1



SITE LOCATION MAP
SCALE 1:1000

MAP DETAILS

Description:
Digital Cartographic Model (DCM)

Publisher / Source:
Ordnance Survey Ireland (OSi)

Data Source / Reference:
PRIME2

File Format:
Autodesk AutoCAD (DWG_R2013)

File Name:
v_50009419_1.dwg

Clip Extent / Area of Interest (AOI):
LLX,LLY= 563462.0,569345.5
LRX,LRY= 564292.0,569345.5
ULX,ULY= 563462.0,569960.5
URX,URY= 564292.0,569960.5

Projection / Spatial Reference:
Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
X,Y= 563877.0,569653.0

Data Extraction Date:
Date= 29-May-2018

Version / Release:
Version= 1.0

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Firm Name and Address

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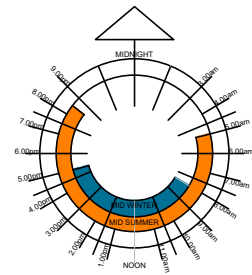
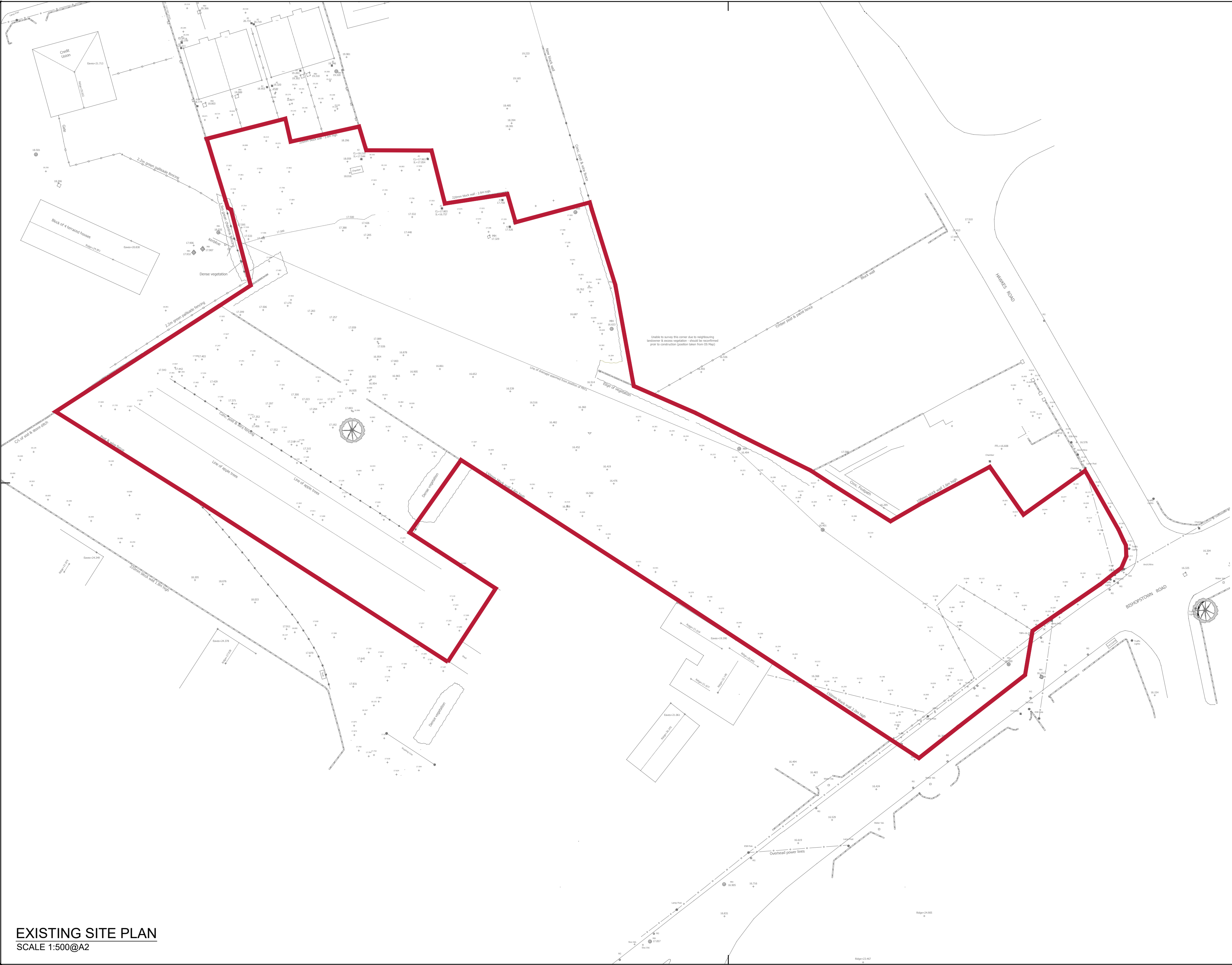
Eastgate Village, Little Island, Cork
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Project Name and Address

RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD &
BISHOPSTOWN ROAD, BISHOPSTOWN ROAD,
BISHOPSTOWN, CORK CITY

Drawing Title	Date
SITE LOCATION MAP	09.07.18
Drawing No.	Drawn
17147-P-002	AV
Scale	Sheet No.
1:1000 @ A3	1 of 1

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
EXISTING SITE PLAN

Scale 1:500 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/003A	Revision P3	

<input type="checkbox"/> Information \ Comments	Tender <input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	Construction <input type="checkbox"/>

EXISTING SITE PLAN
SCALE 1:500@A2

Schedule of Accommodation and Housing Quality Assessment



HOUSING

Unit No.	Block	Description	BED SPACES	UNIT AREA M²	Agg. LIVING AREA M²	BED 1	BED 2	BED 3	Agg. BED AREA M²	STORAGE M²	ASPECT	AMENITY SPACE M²
A.01	A	2 Bedroom apartment	4	78.1	30.4	13.0	11.5	0.0	24.5	6.10	double	8.7
A.02	A	2 Bedroom apartment	4	80.2	32.2	13.4	11.4	0.0	24.8	6.50	triple	7.5
A.03	A	1 Bedroom apartment	2	54.4	25.1	12.5	0.0	0.0	12.5	4.30	double	7.6
A.04	A	2 Bedroom apartment	4	78.1	30.4	14.1	11.8	0.0	25.9	6.50	double	10.9
A.05	A	2 Bedroom apartment	4	80.2	30.5	13.1	11.5	0.0	24.6	8.00	triple	9.6
A.06	A	2 Bedroom apartment	4	76.6	30.5	14.6	11.6	0.0	26.2	6.10	double	8.7
A.07	A	2 Bedroom apartment	4	78.1	30.4	14.1	11.8	0.0	25.9	6.50	double	10.9
A.08	A	2 Bedroom apartment	4	80.2	30.5	13.1	11.5	0.0	24.6	8.00	triple	9.6
A.09	A	2 Bedroom apartment	4	76.6	30.5	14.6	11.6	0.0	26.2	6.10	double	8.7
B.01	B	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	35.9
B.02	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.80	triple	39.7
B.03	B	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
B.04	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.00	triple	6.2
B.05	B	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
B.06	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.00	triple	6.2
B.07	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	48.8
B.08	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.2
B.09	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	48.8
B.10	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	49.4
B.11	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	49.9
B.12	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	50.5
B.13	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	51.1
B.14	B	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	83.7
C.01	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	32.5
C.02	C	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	26.5
C.03	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	7.1
C.04	C	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
C.05	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	7.1
C.06	C	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
C.07	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
C.08	C	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.5
C.09	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.1
C.10	C	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	52.0
C.11	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	51.7
C.12	C	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	89.2
D.01	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	125.0
D.02	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.2
D.03	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.1
D.04	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
D.05	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.1
D.06	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	50.9
D.07	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	67.2
D.08	D	2 Bedroom townhouse	4	82.5	30.1	13.4	11.6	0.0	25.0	5.80	triple	140.0
E.01	E	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	triple	179.2
E.02	E	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	50.4
E.03	E	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	61.0
E.04	E	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	52.0
E.05	E	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	75.9
F.01	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	32.9
F.02	F	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	38.7
F.03	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	6.1
F.04	F	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.8
F.05	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	6.1
F.06	F	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.8
F.07	F	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
F.08	F	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
F.09	F	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
F.10	F	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
F.11	F	3 Bedroom townhouse	5	105.4	34.0	13.2	11.4	7.7	32.3	9.60	double	178.5
G.01	G	3 Bedroom townhouse	5	105.5	35.5	13.3	11.4	7.3	32.0	9.50	double	72.5
G.02	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
G.03	G	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
G.04	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
G.05	G	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
G.06	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	51.2
H.01	H	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	triple	82.5
H.02	H	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	triple	84.4

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
SCHEDULE OF THE ACCOMMODATIONS

Scale N/A @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Dwg. No. 17147/P/003B	Revision P3	

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<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

SCHEDULE

SITE AREA | 10604 sq.m | 1.06 HA

TOTAL UNITS | No. 67

APARTMENTS | No. 27:
- No. 10 | 1 bed UNITS
- No. 17 | 2 bed UNITS

TOWNHOUSES | No. 40
- No. 34 | 2 bed UNITS
- No. 06 | 3 bed UNITS

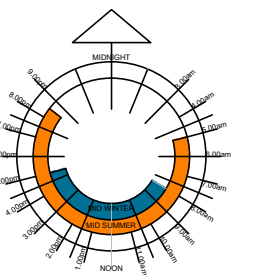
DENSITY | 63.2 units/HA (67units/1.06HA)

OPEN SPACES | 13.6%

car park spaces | No. 23
bike spaces | No. 34
bins | No. 16

SITE BOUNDARY

DRAINAGE PIPE



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

**DEADY
GAHAN**
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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
PROPOSED SITE PLAN

Scale 1:500 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Dwg. No. 17147/P/003C	Revision P3	

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PROPOSED SITE PLAN
SCALE 1:500@A2

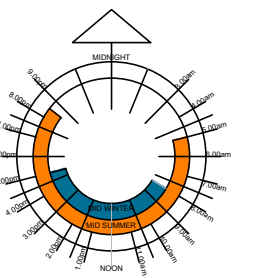
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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

SCHEDULE

SITE AREA | 10604 sq.m | 1.06 HA
TOTAL UNITS | No. 67
APARTMENTS | No. 27:
- No. 10 | 1 bed UNITS
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DENSITY | 63.2 units/HA (67units/1.06HA)
OPEN SPACES | 13.6%
car park spaces | No. 23
bike spaces | No. 34
bins | No. 16

SITE BOUNDARY

DRAINAGE PIPE



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
PROPOSED ROOF PLAN

Scale 1:500 @ A2	Drawn LM	Checked EJG	Date 2018.02.26
Project No. 17147	Dwg. No. 17147/P/003D	Revision P3	

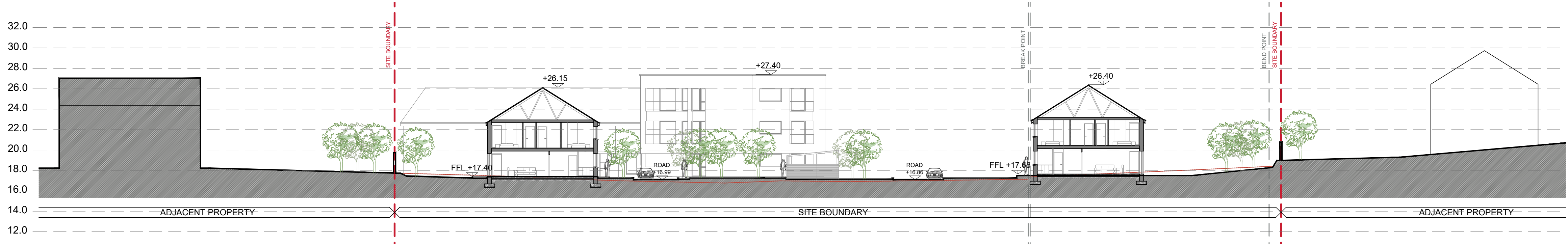
Information \ Comments
Planning
Tender
Construction

PROPOSED ROOF PLAN
SCALE 1:500@A2

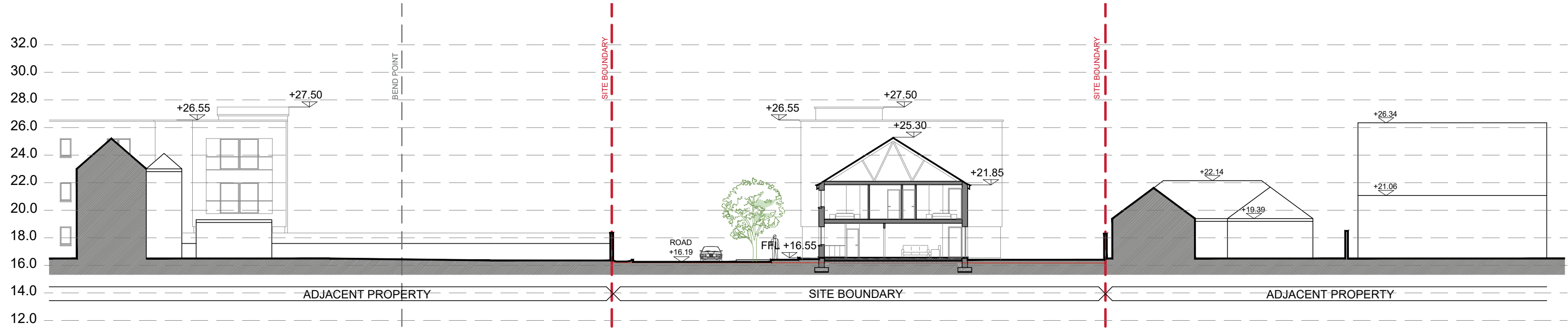
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ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



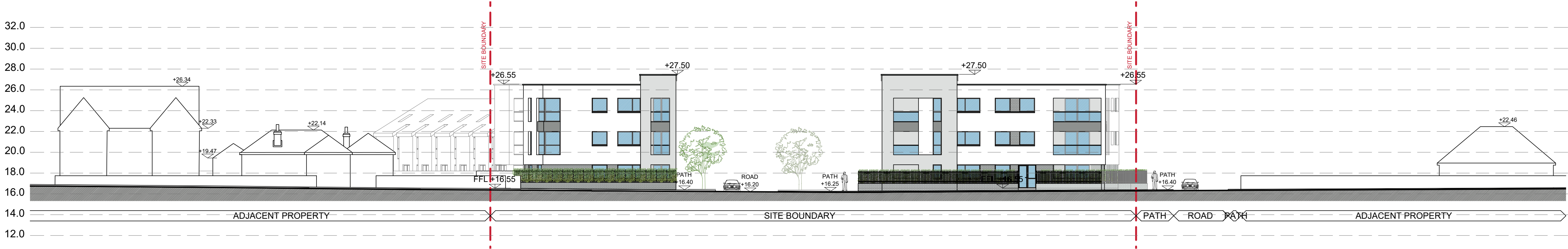
CONTIGUOUS SITE SECTION AA
Scale 1:250



CONTIGUOUS SITE SECTION BB
Scale 1:250



CONTIGUOUS SITE SECTION CC
Scale 1:250



CONTIGUOUS SITE SECTION DD
Scale 1:250



CONTIGUOUS SITE SECTION EE
Scale 1:250

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

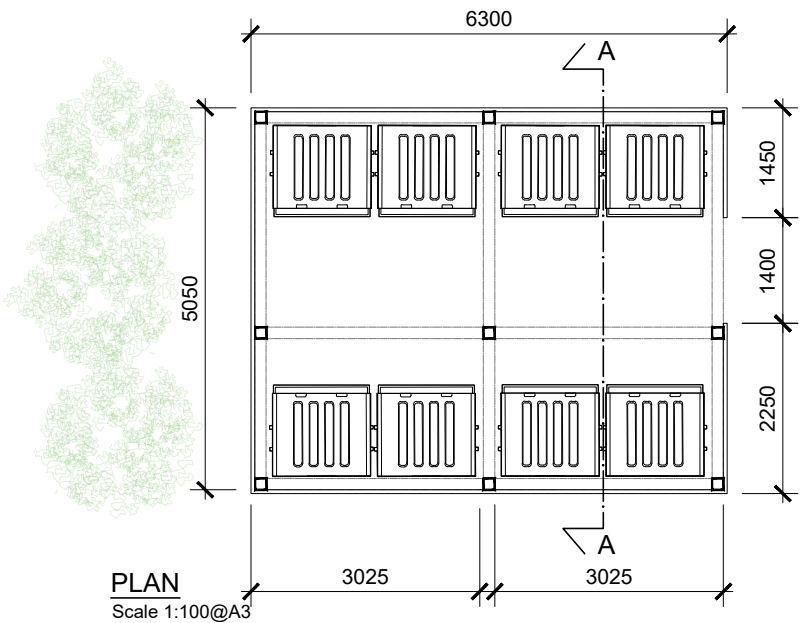
Drawing title
PROPOSED SITE SECTIONS

Scale 1:250 @ A1	Drawn AV	Checked EJG	Date 2018.07.02
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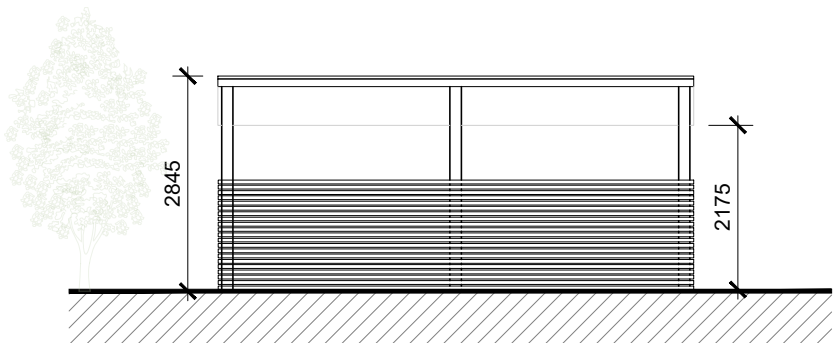
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☐ Information \ Comments ☐ Tender
☒ Planning ☐ Construction

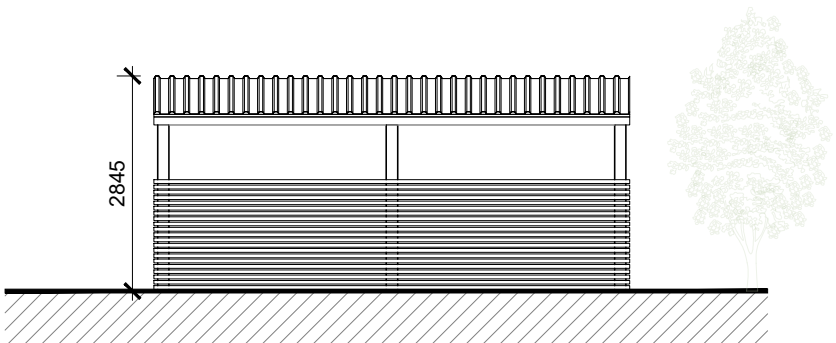
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
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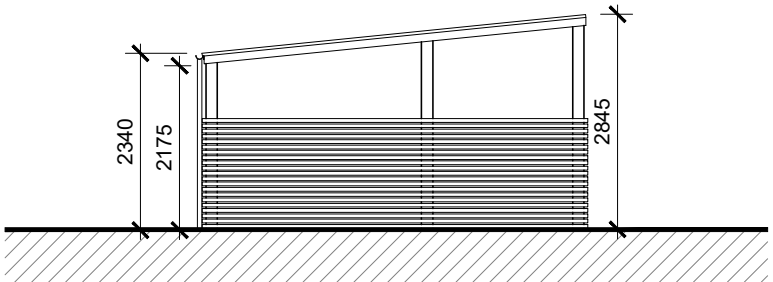
PLAN
Scale 1:100@A3



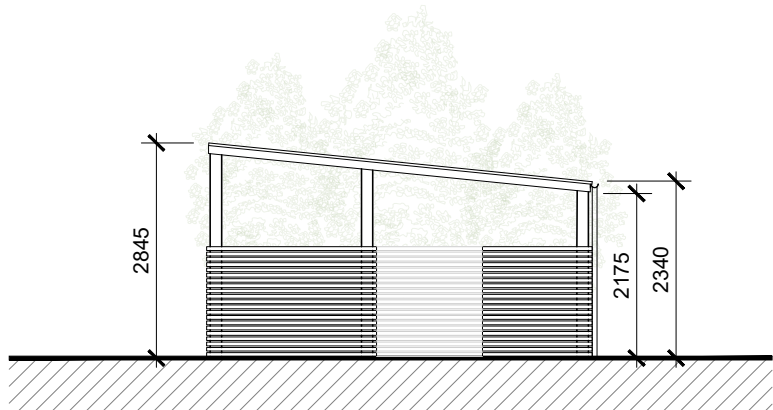
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Scale 1:100@A3



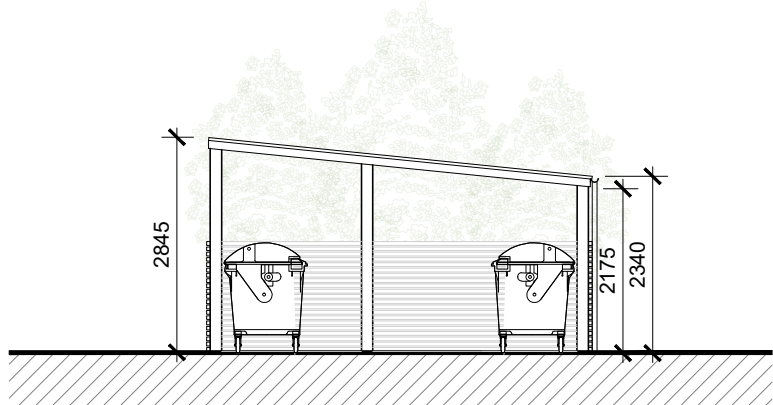
ELEVATION REAR
Scale 1:100@A3



ELEVATION SIDE
Scale 1:100@A3



ELEVATION SIDE
Scale 1:100@A3



SECTION A-A
Scale 1:100@A3

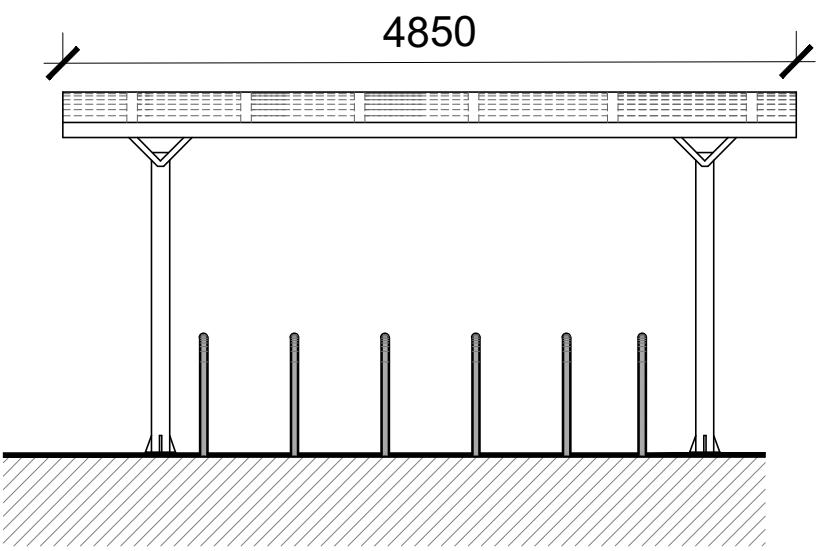
date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY GAHAN ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

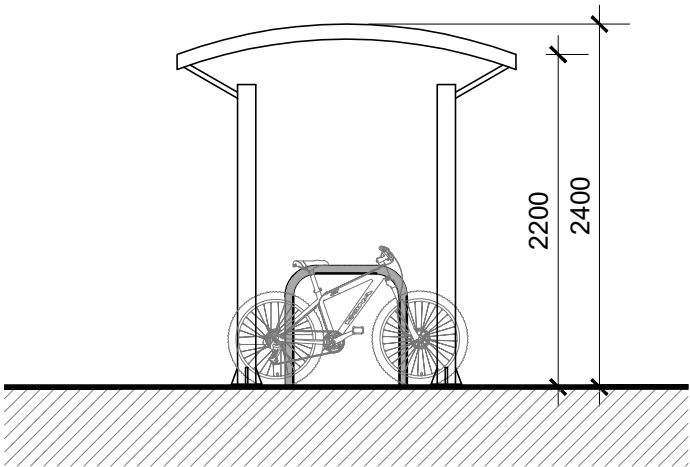
Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BINS STORE PLAN, ELEVATIONS AND SECTION AA			
Scale 1:100 @ A3	Drawn RV	Checked EJG	Date 2018.02.26
Project No. 17147	Dwg. No. 17147/P/005	Revision P3	
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<input checked="" type="checkbox"/> Planning		<input type="checkbox"/> Construction	



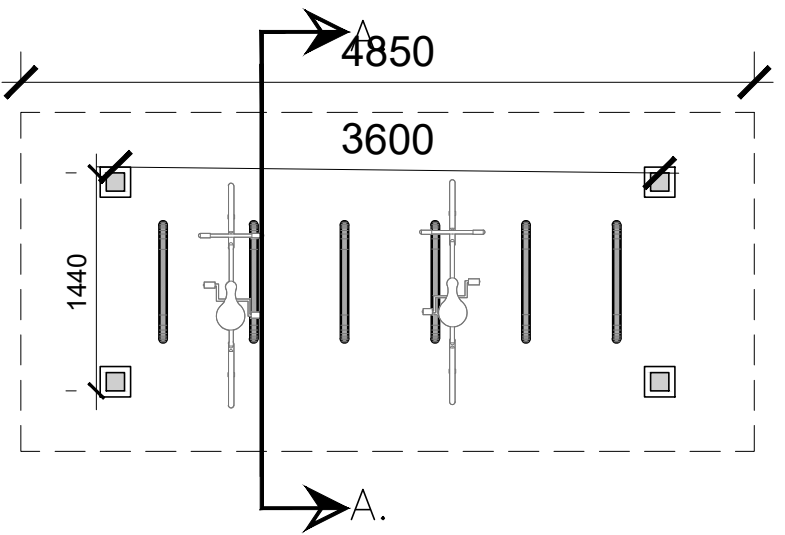
FRONT ELEVATION

SCALE 1:50 @ A3



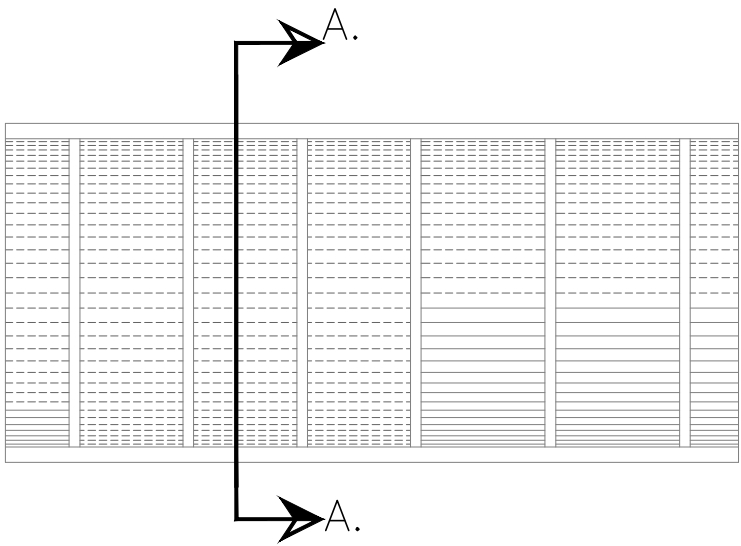
SECTION A-A

SCALE 1:50 @ A3



PLAN

SCALE 1:50 @ A3



ROOF PLAN

SCALE 1:50 @ A3



BIKE RACK IMAGE

NTS @ A3

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
PROPOSED TYPICAL BIKE RACK

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 03.10.19
Project No. 17147	Dir. No. 17147/P/006	Revision P3	

<input type="checkbox"/> Information \ Comments	Tender <input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	Construction <input type="checkbox"/>

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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

PLANTING LIST

TREES

PROPOSED BOUNDARY TREE PLANTING

Plant Name	Girth cm	Height
<i>Acer campestre</i>	10-12	3-3.6m Root Balled
<i>Alnus glutinosa</i>	10-12	3-3.6m Root Balled
<i>Betula pendula</i>	10-12	3-3.6m Root Balled
<i>Corylus avellana</i>	10-12	3-3.6m Root Balled
<i>Crataegus monogyna</i>	10-12	3-3.6m Root Balled
<i>Ilex aquifolium</i>	10-12	3-3.6m Root Balled
<i>Malus sylvestris</i>	10-12	3-3.6m Root Balled
<i>Salix caprea</i>	10-12	3-3.6m Root Balled
<i>Sorbus aucuparia</i>	10-12	3-3.6m Root Balled

PROPOSED TREE PLANTING

Plant Name	Girth cm	Height
<i>Betula pendula</i>	16-18	5.5m Root Balled
<i>Betula utilis jacquemontii</i>	16-18	5.5m Root Balled
<i>Cedrus deodora</i>	16-18	5.5m Root Balled
<i>Salix alba</i>	16-18	5.5m Root Balled
<i>Sorbus aucuparia</i>	16-18	5.5m Root Balled
<i>Tilia cordata</i>	16-18	5.5m Root Balled
<i>Pinus sylvestris</i>	16-18	5.5m Container
<i>Prunus avium</i>	16-18	5.5m Root Balled

PROPOSED SPECIMEN TREE PLANTING

Plant Name	Girth cm	Height
<i>Quercus robur</i>	20-25	5.5m Root Balled

PROPOSED UNDERSTOREY SEMI NATIVE WHIP PLANTING

Plant Name	Age	Height
<i>Corylus avellana</i>	1+0	60-90 cm
<i>Ilex aquifolium</i>	1+1	40-60 cm
<i>Corvus app</i>	1+1	40-60 cm
<i>Rosa rugosa</i>	1+1	40-60 cm
<i>Prunus spinosa</i>	1+0	60-90 cm
<i>Viburnum opulus</i>	1+1	40-60 cm
<i>Crataegus monogyna</i>	1+0	60-90 cm
<i>Symphoricarpos x 'Chenaulti' Hands</i>	0+1	40-60 cm

PROPOSED LOW SHRUB MIX

Plant Name	Height	Pot size
<i>Corvus app</i>	1+1	40-60 cm
<i>Rosa rugosa</i>	1+1	40-60 cm
<i>Prunus spinosa</i>	1+0	60-90 cm
<i>Viburnum opulus</i>	1+1	40-60 cm

* Note - The plant material must be acclimatised to regional conditions & locally established stock.



NOTE: LEGEND

- SITE BOUNDARY
- EXISTING FOUL AND DRAINAGE PIPES
- PROPOSED TREE PLANTING
- PROPOSED GRASS AREA
- PROPOSED TARMAC FINISH
- PROPOSED PEDESTRIAN WALKWAY - TARMAC FEATURE CONTRAST COLOURED CHIPPING
- PROPOSED CONCRETE/TARMAC SHARED SURFACE
- PROPOSED CONCRETE FOOTPATH

NOTE: WALL TYPES

- 1.8M HIGH CONCRETE BLOCK WALL WITH PCC CAPPING TO SIDE & REAR OF GARDENS - WALL RENDERED ON SIDE FACING PUBLIC AREAS
- PROPOSED 1.8M HIGH CONCRETE POST & TIMBER INFILL PANELS TO SIDE GARDENS
- PROPOSED LOW RISE CONCRETE BLOCK WALL WITH VERTICAL STEEL RAILING
- EXISTING 1.8M HIGH CONCRETE BLOCK WALL-RENDERED & CAPPED TO BE INCREASED TO 1.8M
- EXISTING 2.0M HIGH CONCRETE BLOCK WALL-RENDERED & CAPPED TO BE RETAINED
- EXISTING 2.6M HIGH CONCRETE BLOCK WALL-RENDERED & CAPPED TO BE RETAINED

PROPOSED LANDSCAPE PLAN

SCALE 1:500@A2

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY GAHAN
ARCHITECTS

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
PROPOSED LANDSCAPE PLAN

Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	07.10.19

Project No.	Dwg. No.	Revision
17147	17147/P/007	P3

Information \ Comments
Planning
Tender
Construction



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK A

PROJECT NO.: 17147

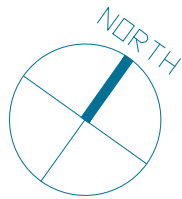
DRAWING NO.: 17147-SK-100

DATE: 02.06.20

SCALE: NTS @ A3

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Eastgate Village, Little Island, Cork
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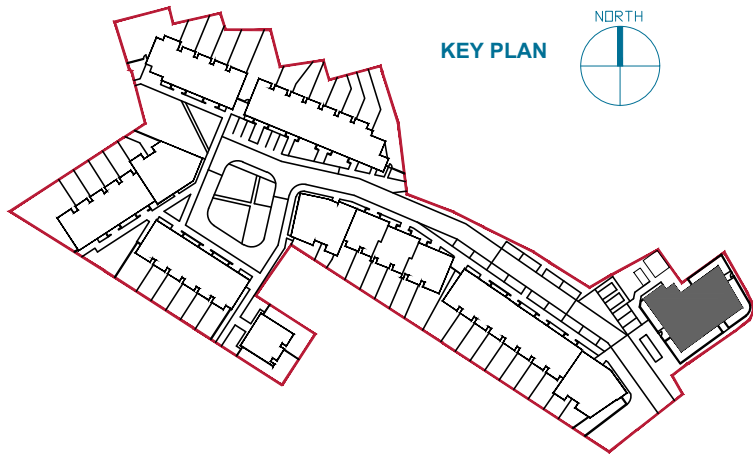


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ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Block A | Ground Floor

- Apartment A.1 | 78.1 sq.m | 2 bed - 4 person
Apartment A.2 | 80.2 sq.m | 2 bed - 4 person
Apartment A.3 | 54.4 sq.m | 1 bed - 2 person



GROUND FLOOR PLAN
scale 1:100

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

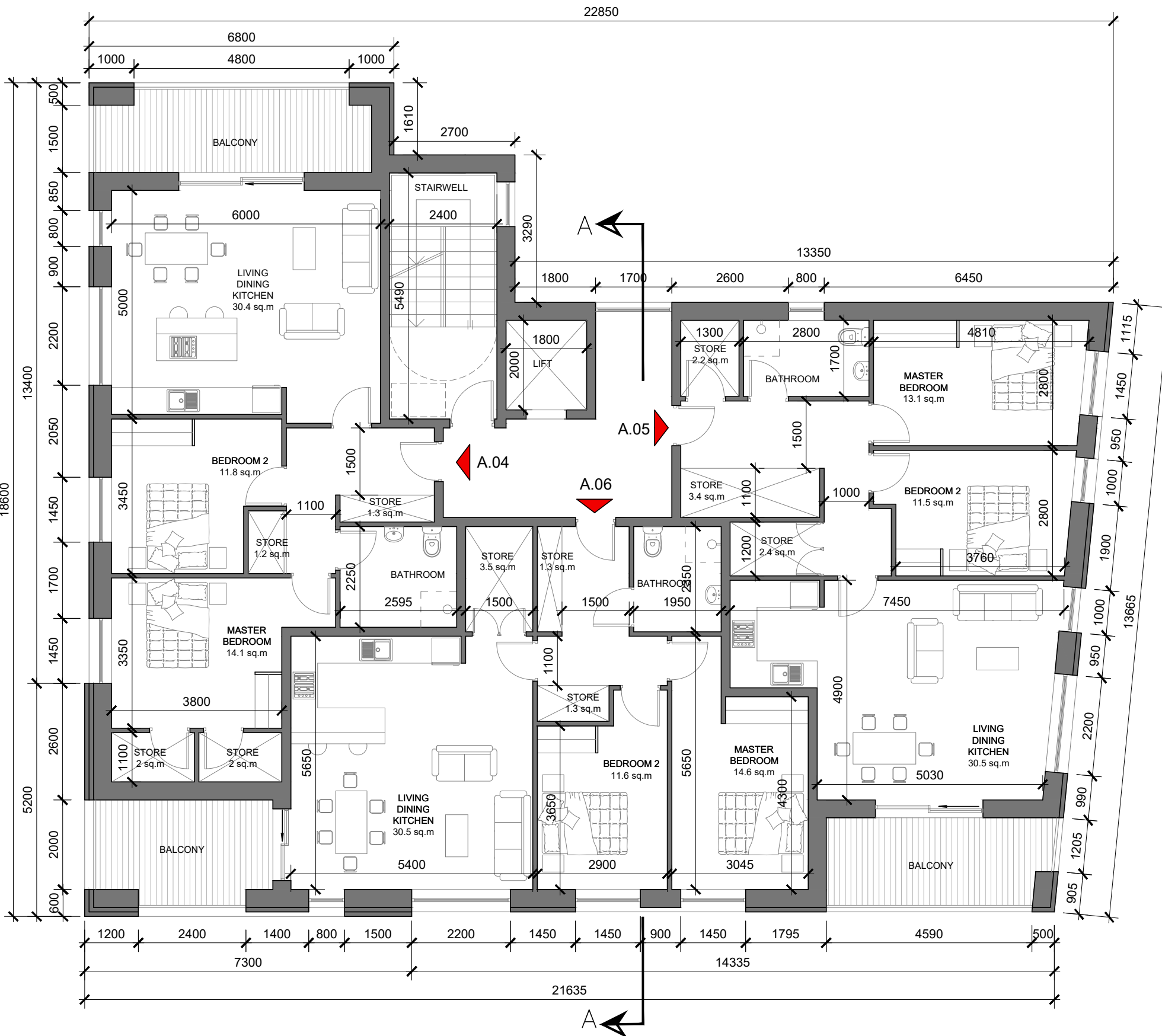
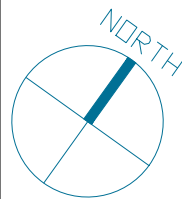
DEADY
GAHAN

ARCHITECTS

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Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK A GROUND FLOOR PLAN			
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drp. No. 17147/P/101	Revision P3	
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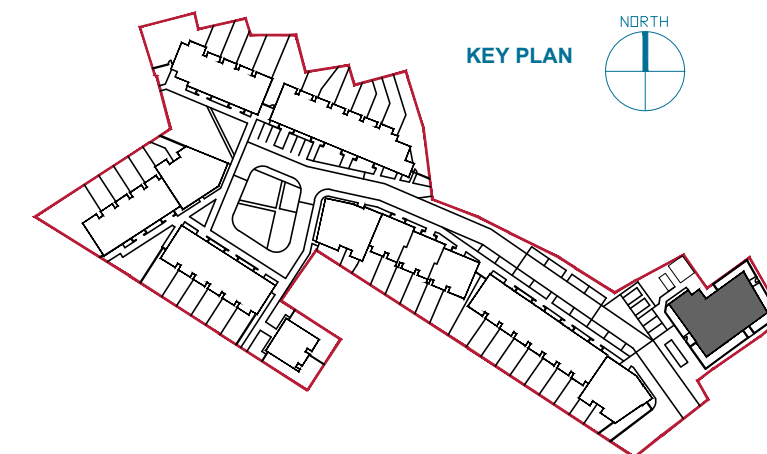


Block A | First Floor

Apartment A.4 | 78.1 sq.m | 2 bed - 4 person

Apartment A.5 | 80.2 sq.m | 2 bed - 4 person

Apartment A.6 | 76.6 sq.m | 2 bed - 4 person



FIRST FLOOR PLAN

scale 1:100

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

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Tel: 021 4355316 Fax: 021 4355330
Email: info@dgarchitects.ie

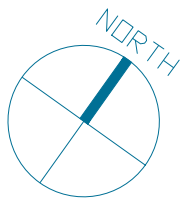
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RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK A
FIRST FLOOR PLAN

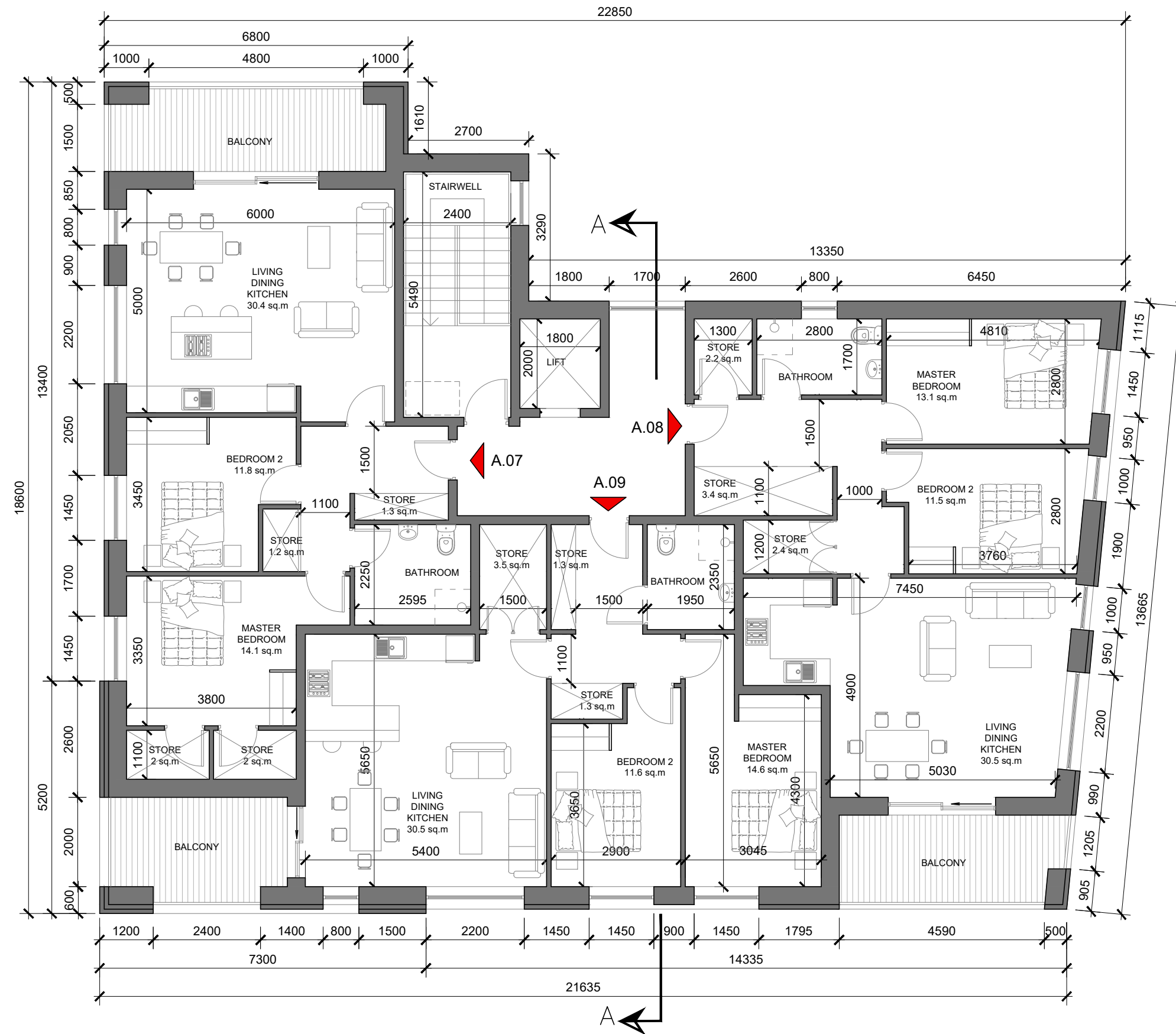
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Project No. 17147	Dwg. No. 17147/P/102	Revision P3
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<input type="checkbox"/> Information \ Comments	Tender
<input checked="" type="checkbox"/> Planning	Construction



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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

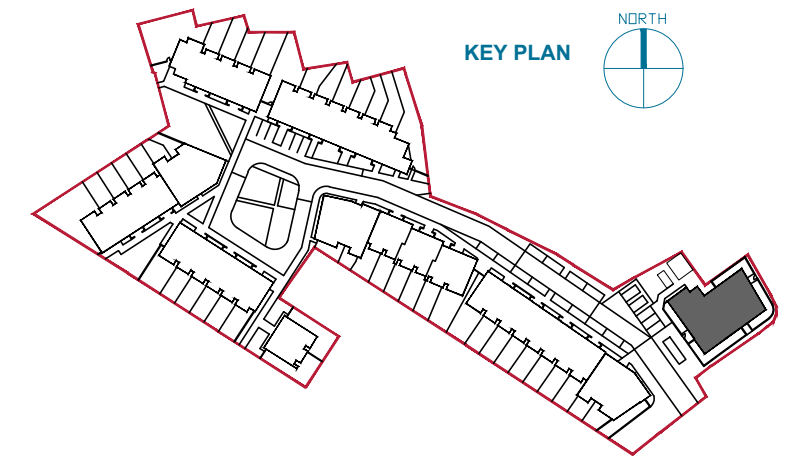


Block A | Second Floor

Apartment A.7 | 78.1 sq.m | 2 bed - 4 person

Apartment A.8 | 80.2 sq.m | 2 bed - 4 person

Apartment A.9 | 76.6 sq.m | 2 bed - 4 person



SECOND FLOOR PLAN

scale 1:100

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

**DEADY
GAHAN**
ARCHITECTS

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK A SECOND FLOOR PLAN			
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/PI/103		Revision P3
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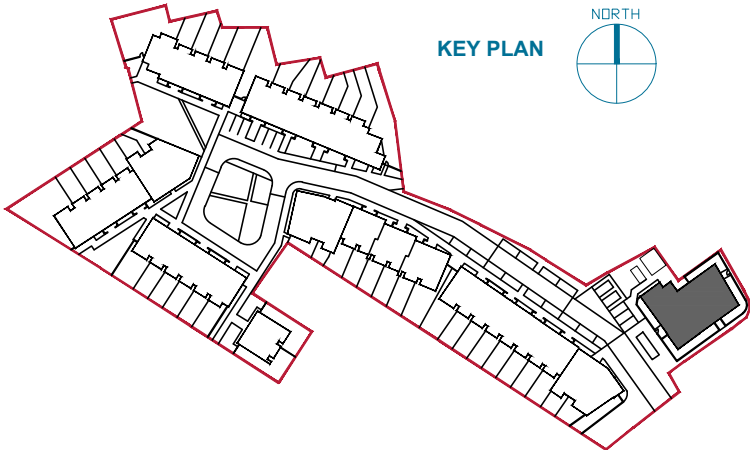
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ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

OUTLINE SPECIFICATION NOTES

- 1— EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3— WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4— PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5— ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6— PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7— GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8— CONCRETE POST AND TIMBER INFILL PANELS
- 9— uPVC TIMBER FRONT DOOR
- 10— ALUMINIUM GUTTERS BOX DOWNPIPES
- 11— 150MM SMOOTH PLASTER PLINTH
- 12— LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13— VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14— BLACK SLATE FLAT TILE ON ROOF
- 15— BLACK RIDGE TILE
- 16— HOPPER TO ACCOMMODATE PARAPET DRAINAGE



FRONT (South-East) ELEVATION
scale 1:100



REAR (North-West) ELEVATION
scale 1:100

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING



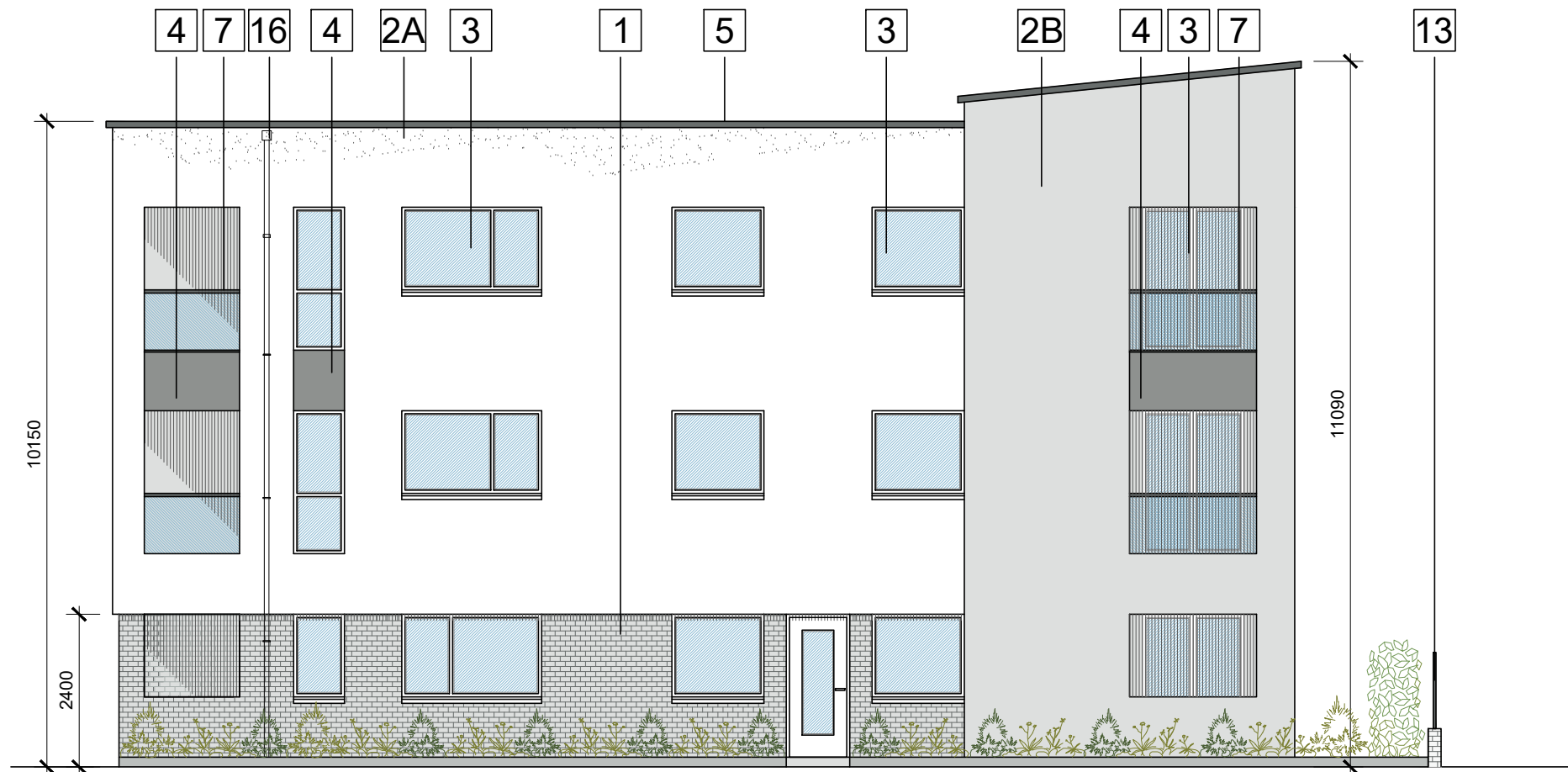
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RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK A FRONT AND REAR ELEVATIONS			
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Project No. 17147	Dwg. No. 17147/PP/104	Revision P3	
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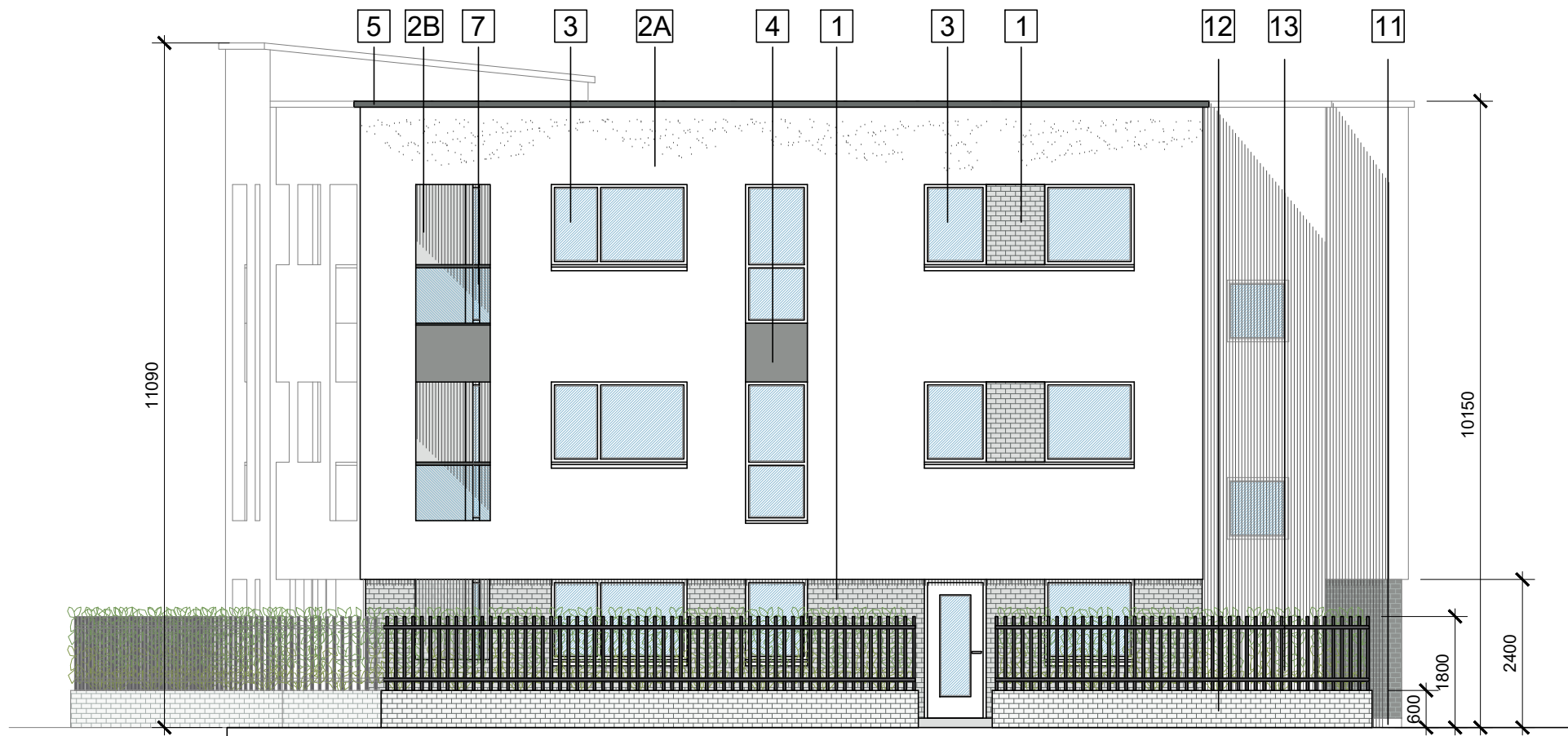
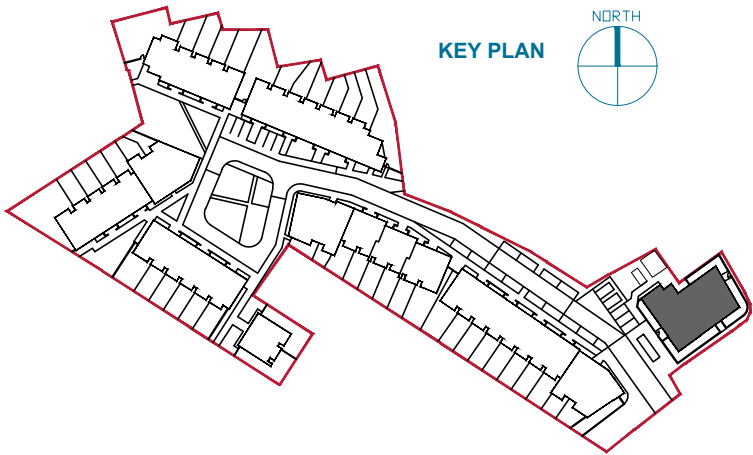
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

OUTLINE SPECIFICATION NOTES

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
- 10 — ALUMINIUM GUTTERS BOX DOWNPIPES
- 11 — 150MM SMOOTH PLASTER PLINTH
- 12 — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE
- 16 — HOPPER TO ACCOMMODATE PARAPET DRAINAGE



SIDE (South-West) ELEVATION
scale 1:100



SIDE (North-East) ELEVATION
scale 1:100

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

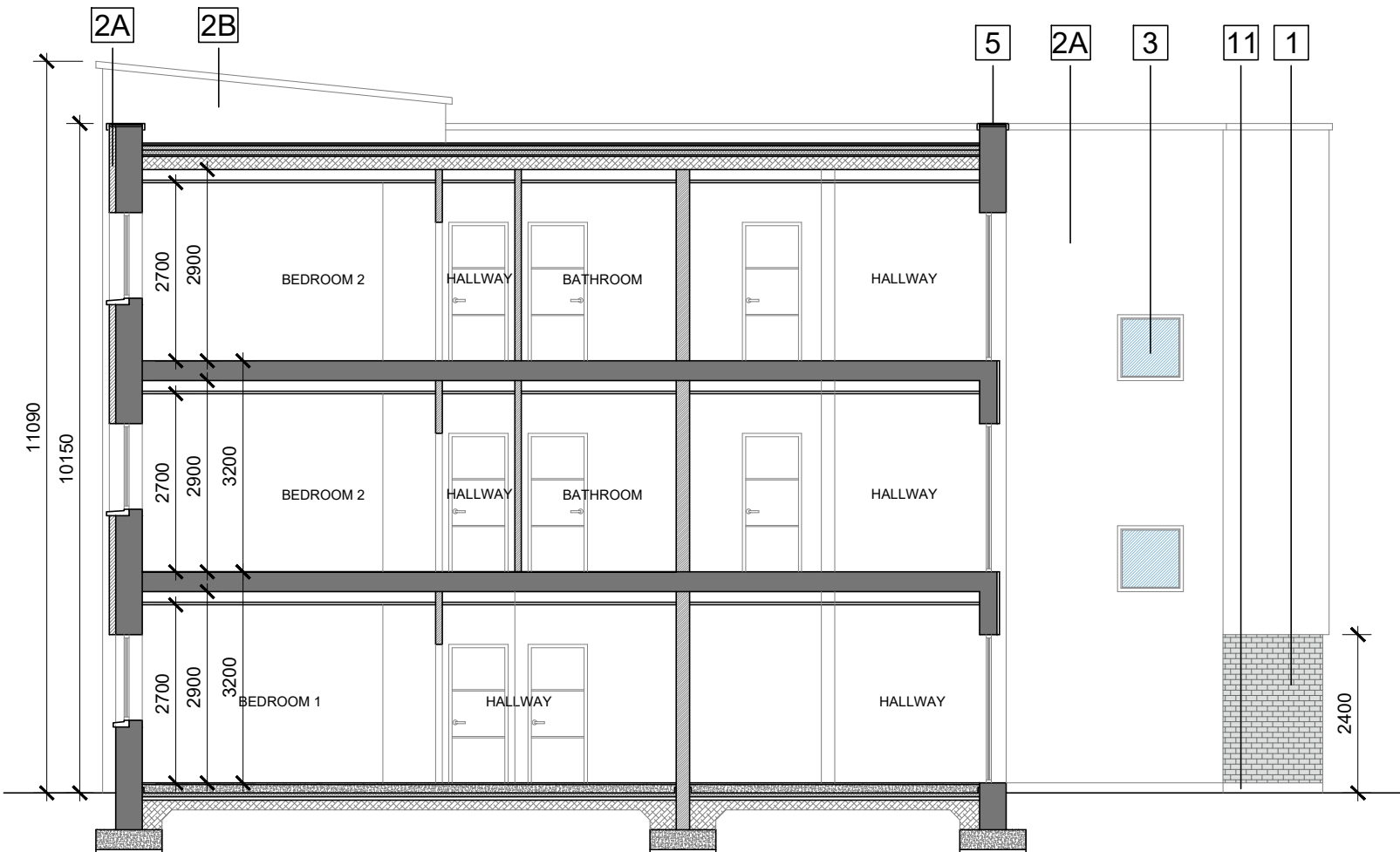


Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

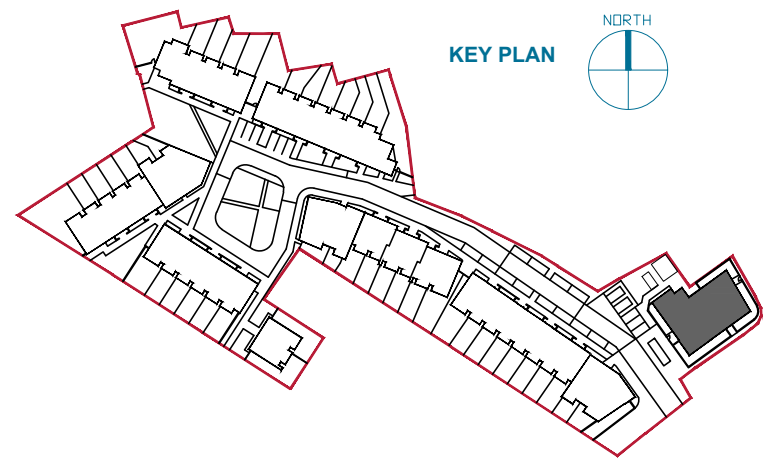
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Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/105		Revision P3
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OUTLINE SPECIFICATION NOTES

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
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- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE
- 16 — HOPPER TO ACCOMMODATE PARAPET DRAINAGE



SECTION AA
scale 1:100



date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK A SECTION AA			
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/106		Revision P3
<input type="checkbox"/> Information \ Comments			Tender <input type="checkbox"/>
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Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK B

PROJECT NO.: 17147

DRAWING NO.: 17147-SK-200

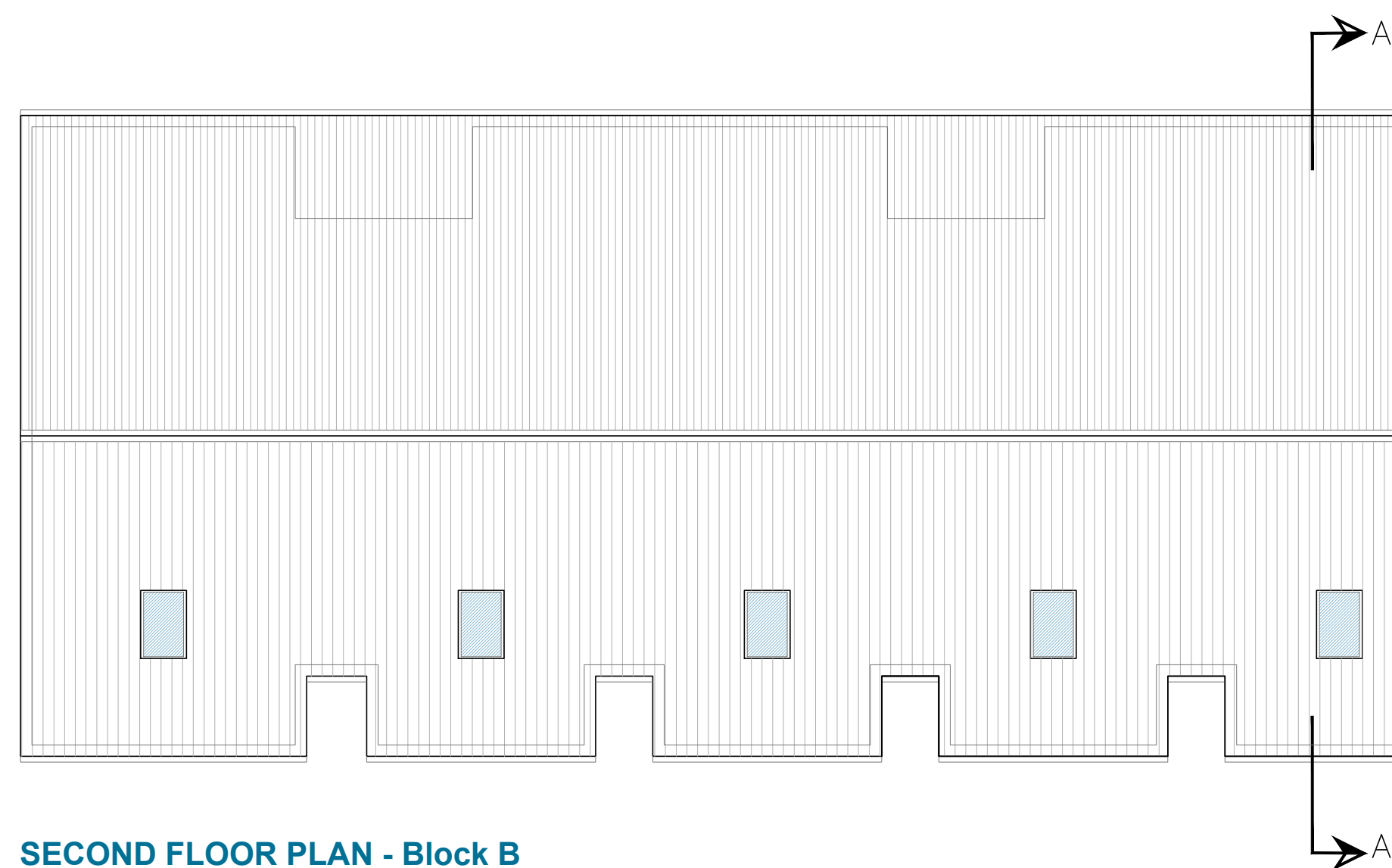
DATE: 02.06.20

SCALE: NTS @ A3

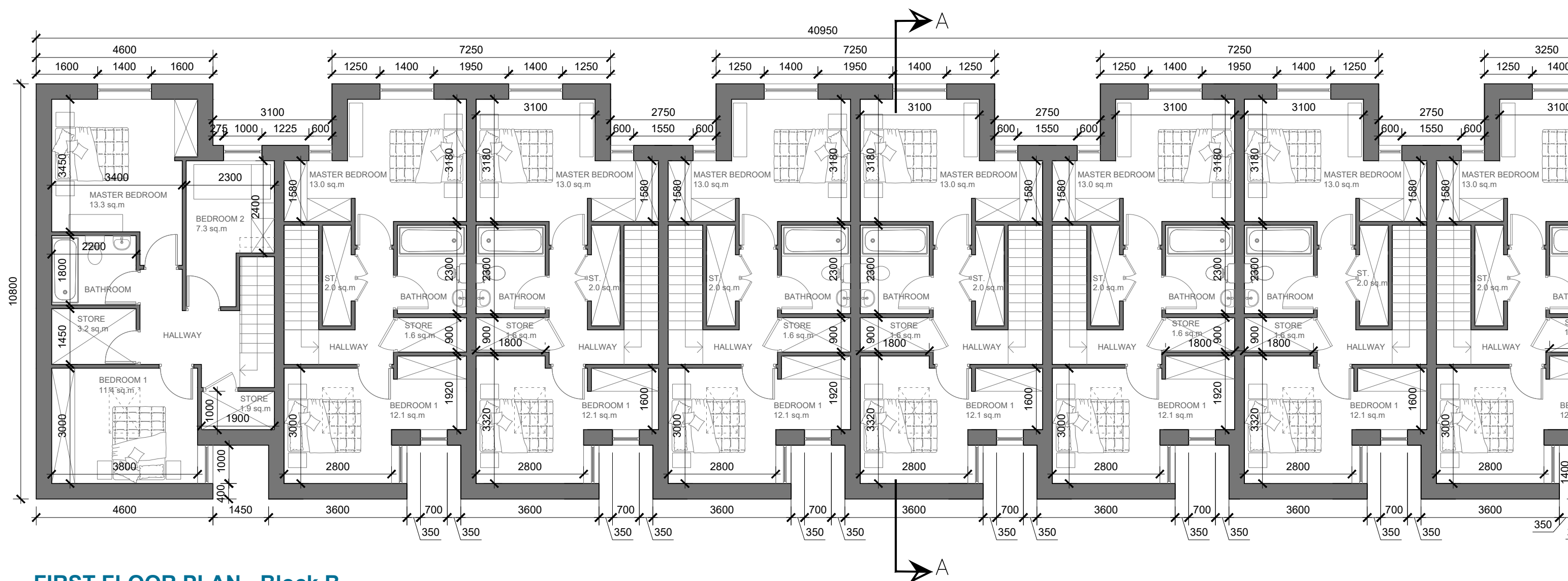
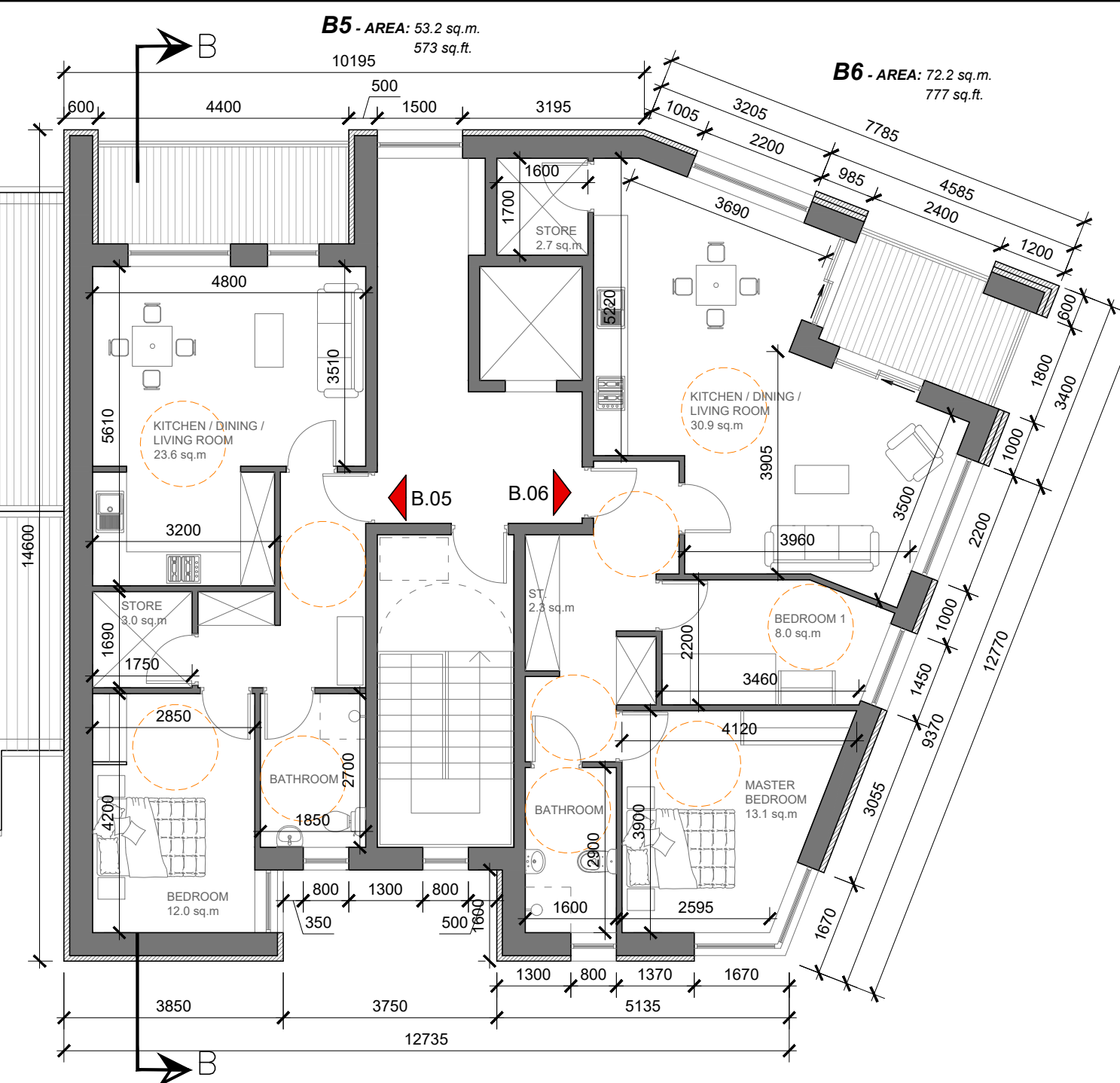
**DEADY
GAHAN**
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

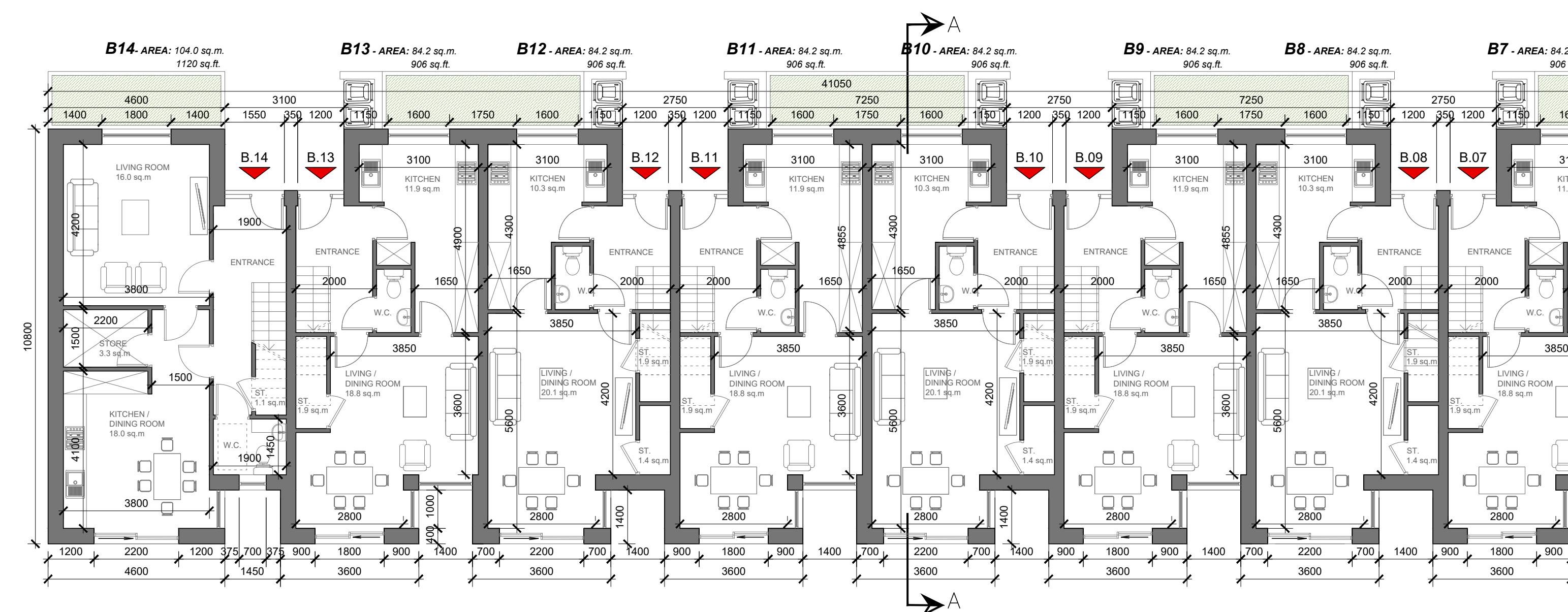
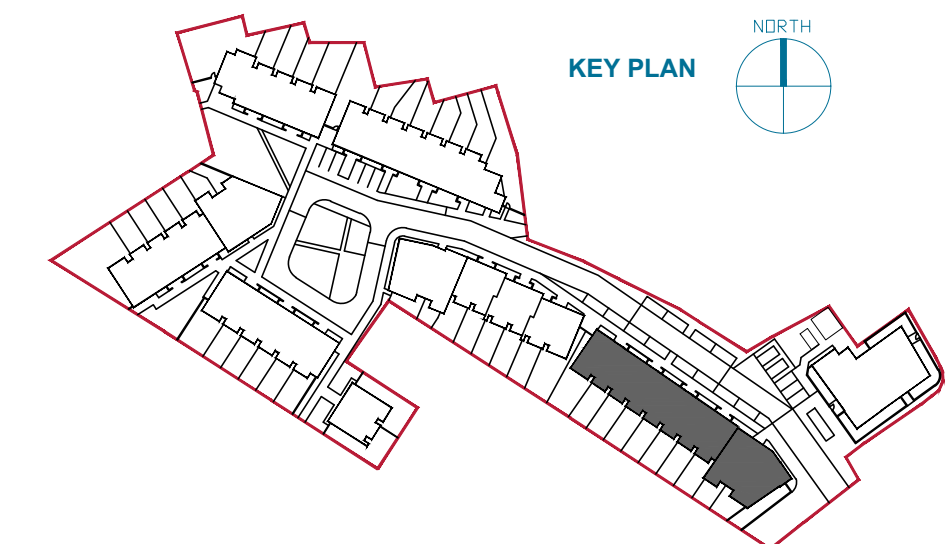
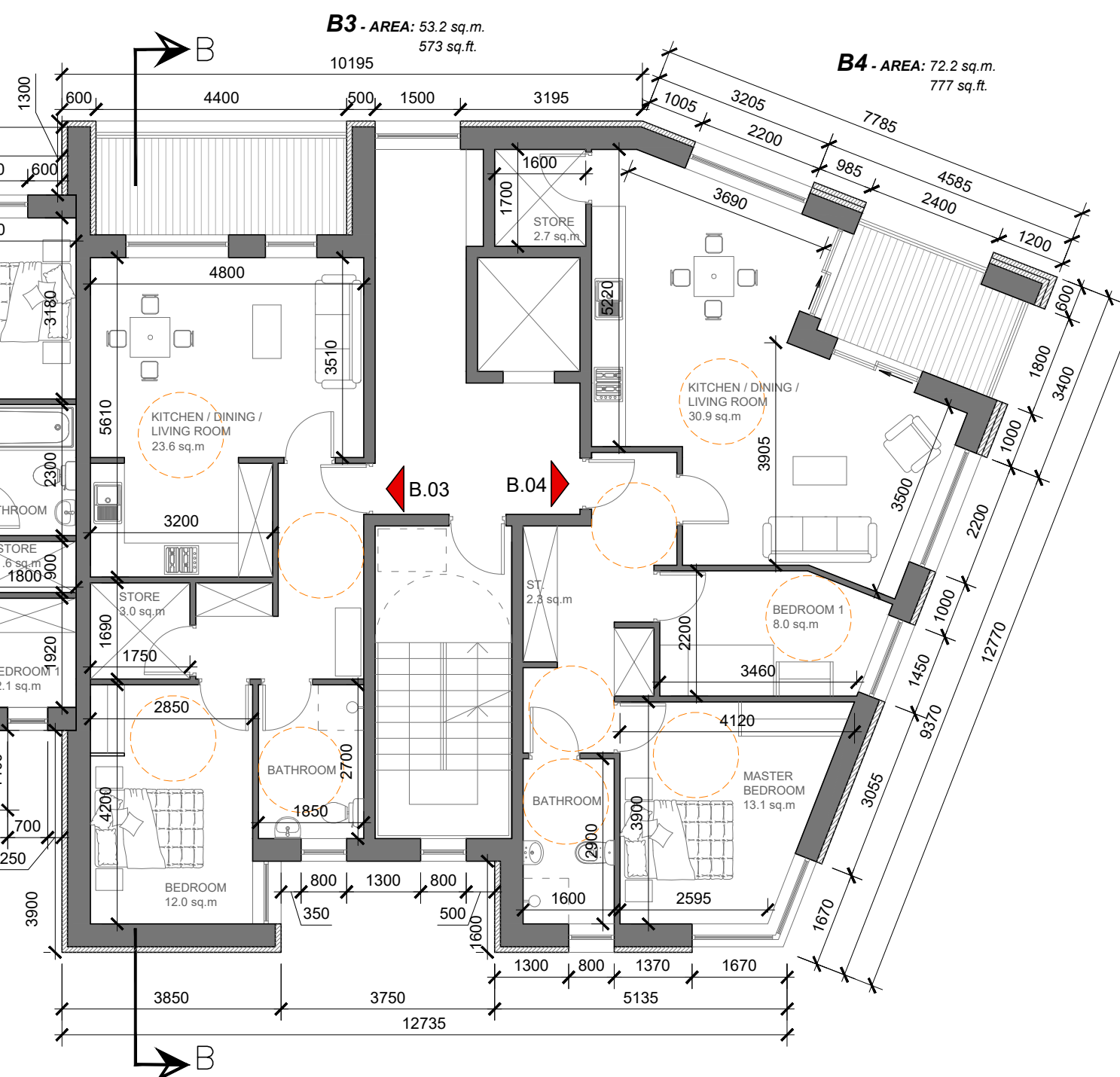
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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



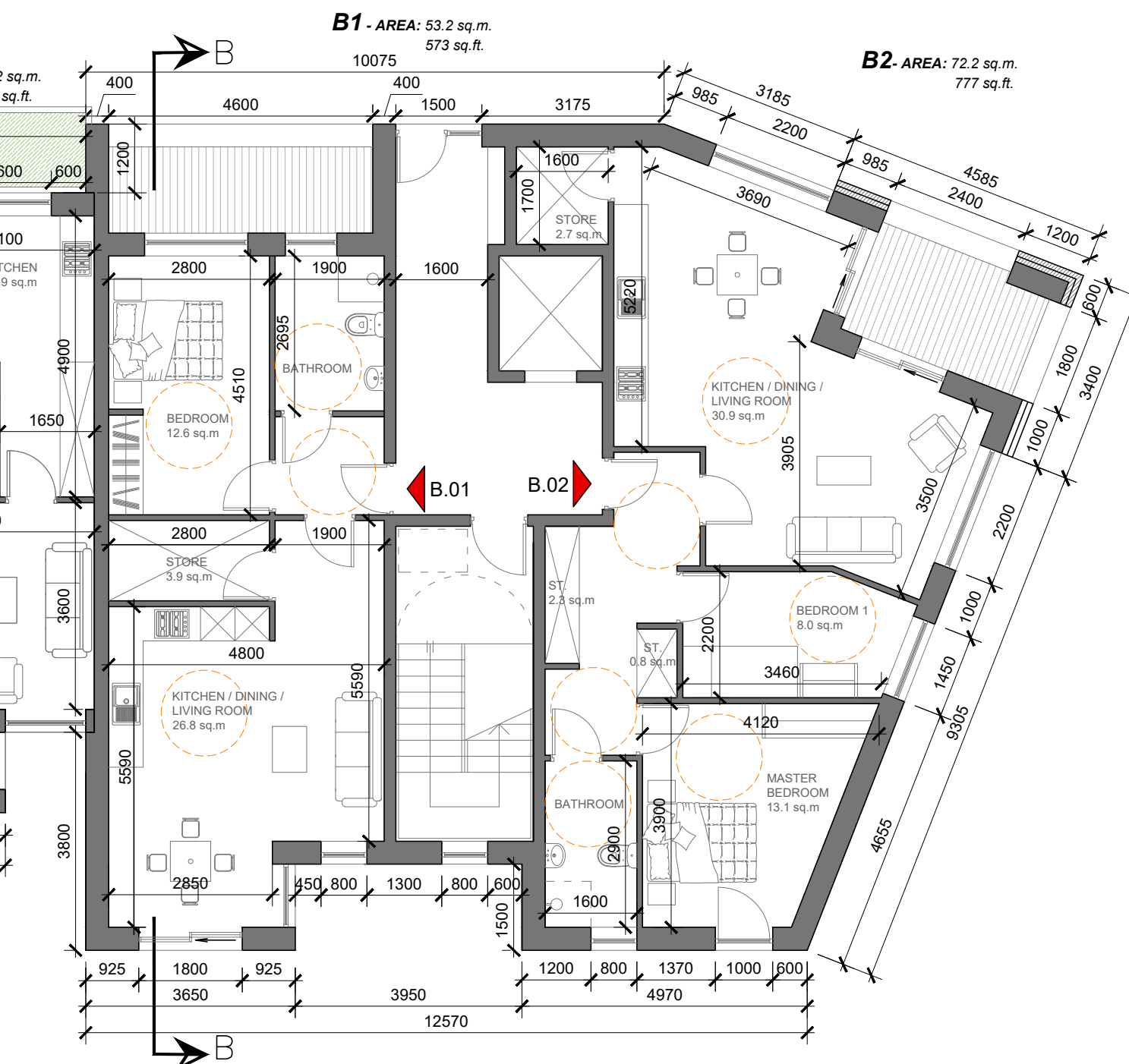
SECOND FLOOR PLAN - Block B
scale 1:100



FIRST FLOOR PLAN - Block B
scale 1:100



GROUND FLOOR PLAN - Block B
scale 1:100



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK B GROUND FLOOR, FIRST FLOOR AND SECOND FLOOR PLANS			
Scale 1:100 @ A1	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/201	Revision P3	
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
<input type="checkbox"/> Planning		<input type="checkbox"/> Construction	

[illegible]

Technical drawing of a house with a gabled roof. The drawing includes a chimney on the left and a gabled section with a textured interior. Callouts 1 through 16 point to various parts of the structure. Dimensions 5440 and 8895 are indicated on the right side.

This architectural elevation drawing shows a building facade with several window types and dimensions. The drawing includes the following elements:

- Window Types:**
 - 2A:** A horizontal window with a dark frame and a light-colored blind.
 - 2B:** A vertical window with a dark frame and a light-colored blind.
 - 3:** A vertical window with a dark frame and a light-colored blind.
 - 4:** A horizontal window with a dark frame and a light-colored blind.
 - 5:** A horizontal window with a dark frame and a light-colored blind.
 - 11:** A small, square window with a dark frame and a light-colored blind.
- Dimensions:**
 - 1800:** The height of the building facade from the ground level to the top of the window frame.
 - 2400:** The height of the building facade from the ground level to the top of the window frame.
 - 10150:** The total height of the building facade from the ground level to the top of the window frame.
 - 11000:** The total height of the building facade from the ground level to the top of the window frame.
- Other Features:**
 - A decorative metal railing is shown in front of the building facade.
 - A tree is shown to the right of the building facade.

KEY PLAN

NORTH

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Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

<input type="checkbox"/> Information \ Comments	Tender
<input checked="" type="checkbox"/> Planning	Construction

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
- 10 — ALUMINIUM GUTTERS BOX DOWNPIPES
- 11 — 150MM SMOOTH PLASTER PLINTH
- 12 — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE
- 16 — HOPPER TO ACCOMMODATE PARAPET DRAINAGE



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City- BLOCK C

PROJECT NO.: 17147

DRAWING NO.: 17147-SK-300

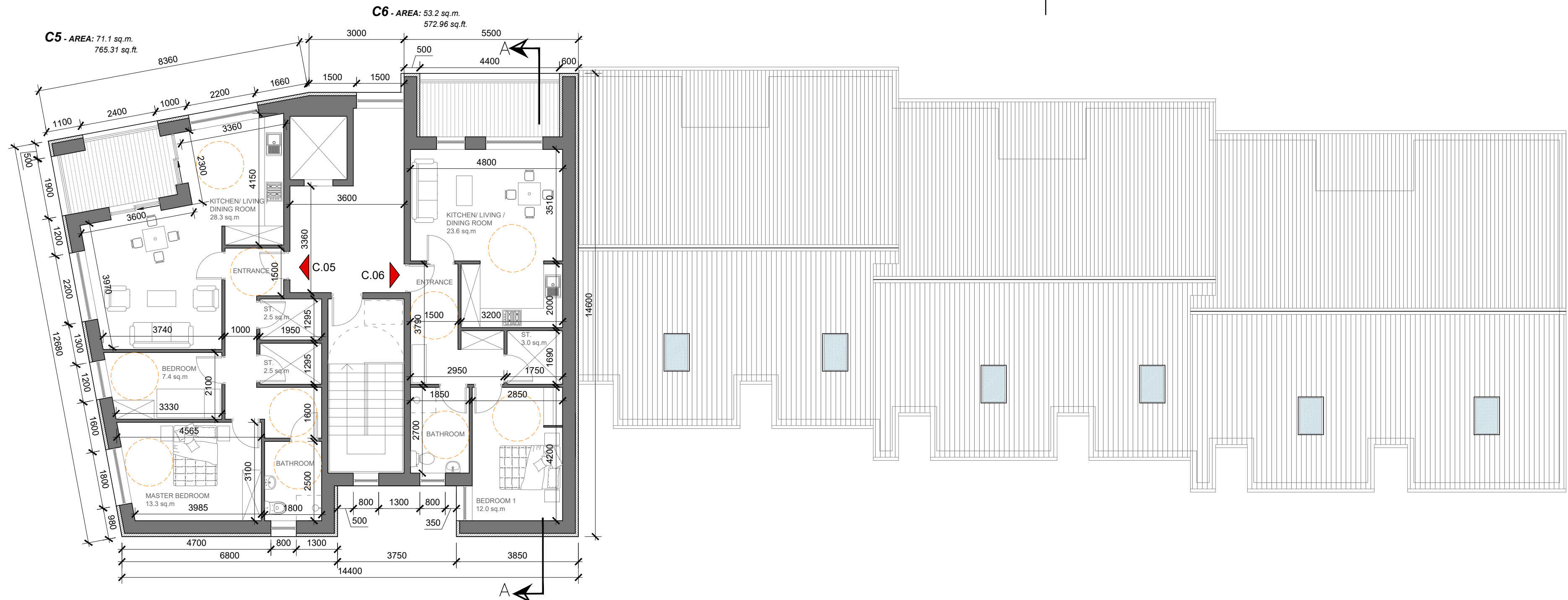
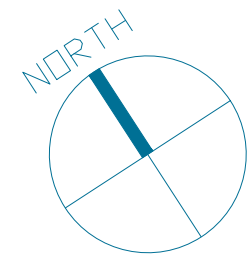
DATE: 02.06.20

SCALE: NTS @ A3

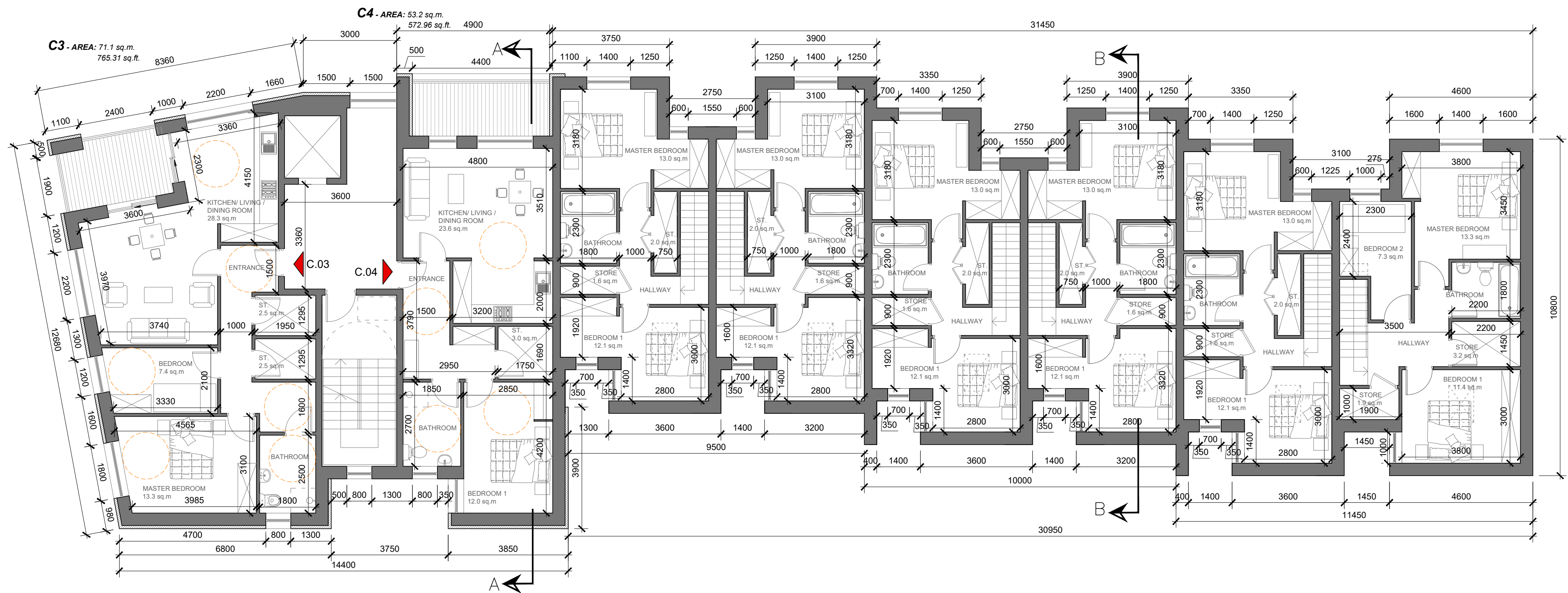
**DEADY
GAHAN** 
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

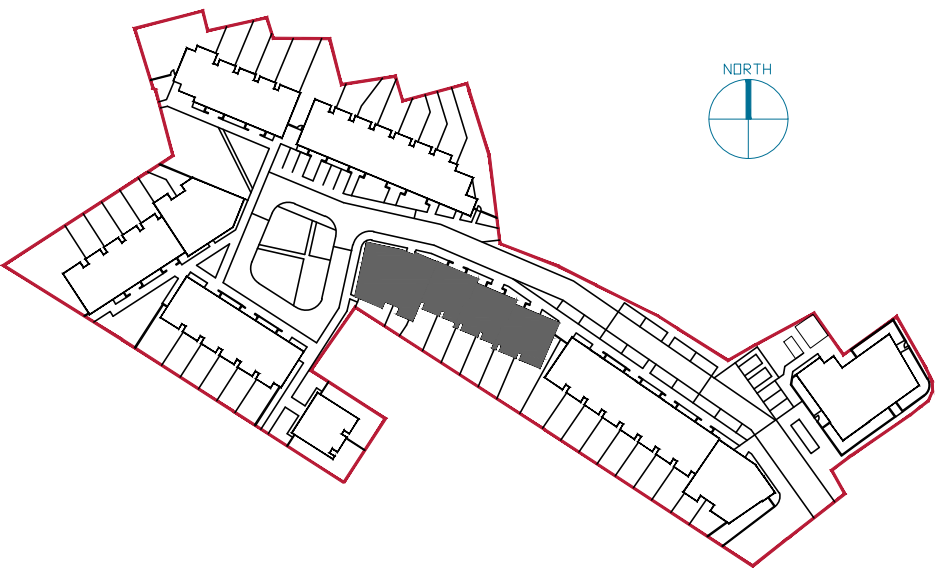


SECOND FLOOR PLAN - Block C
scale 1:100



FIRST FLOOR PLAN - Block C
scale 1:100

KEY PLAN



GROUND FLOOR PLAN - Block C
scale 1:100

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY
GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

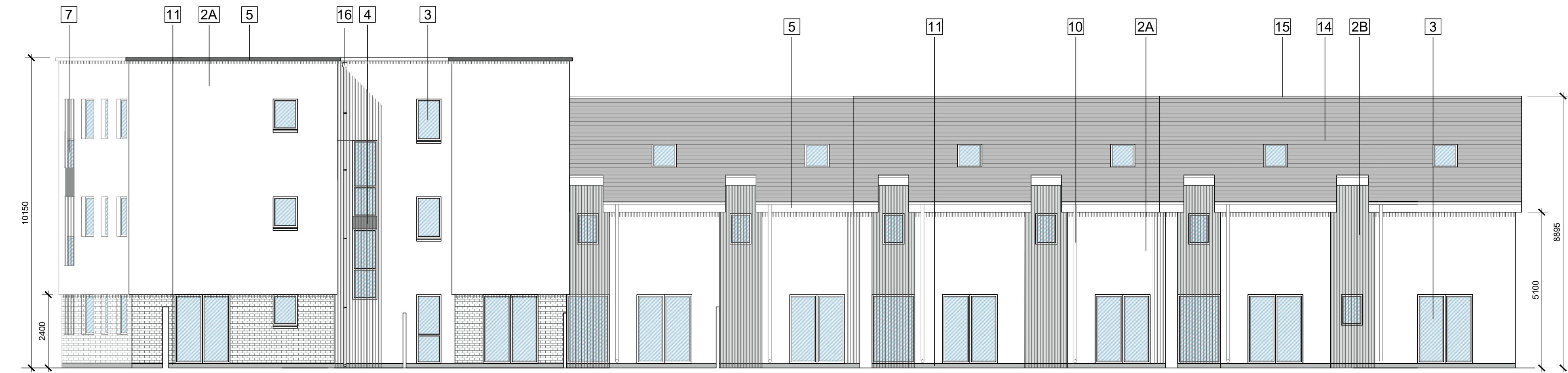
Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK C
GROUND FLOOR, FIRST FLOOR AND SECOND FLOOR PLANS

Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.09.27
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Project No. 17147	Drg. No. 17147/P/301	Revision P3
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<input type="checkbox"/> Planning	Construction



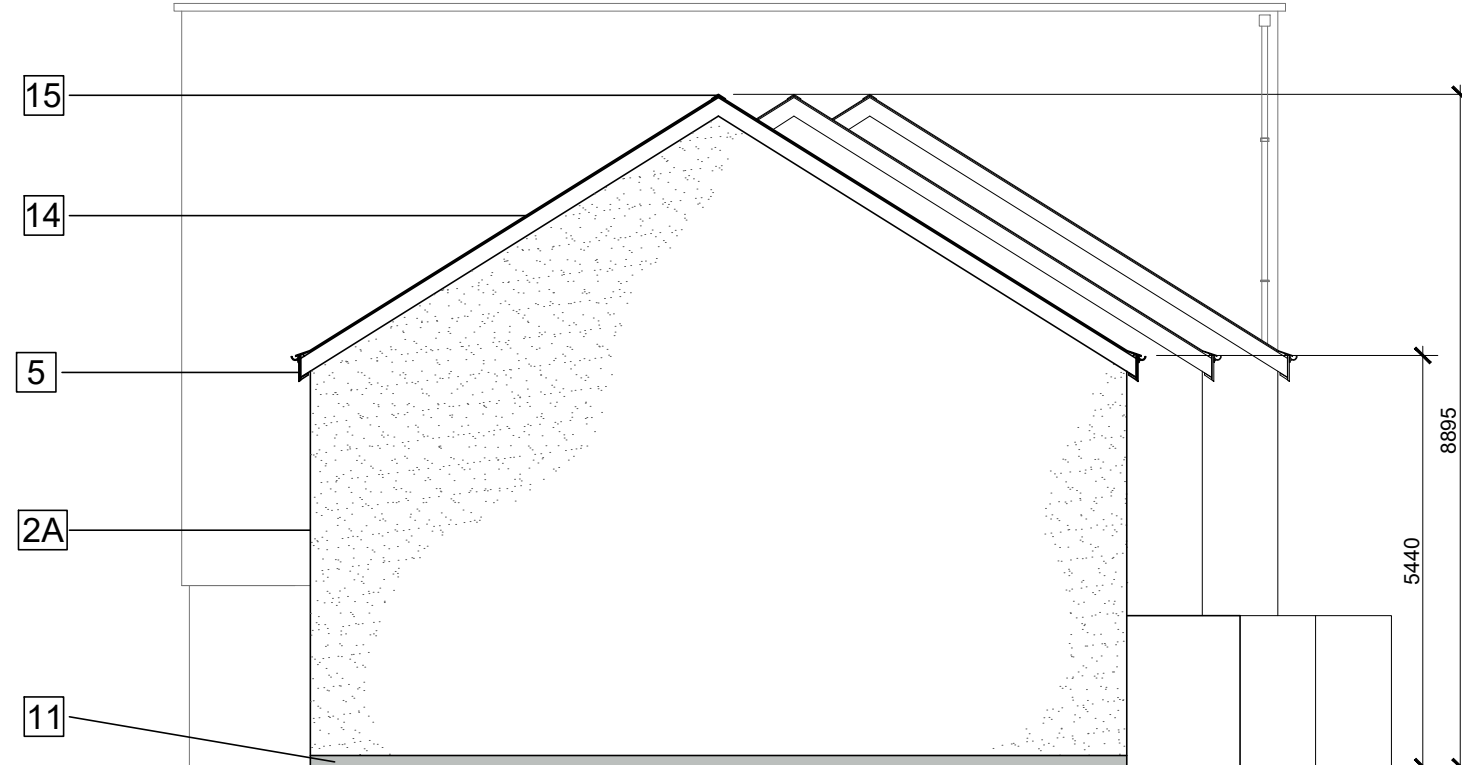
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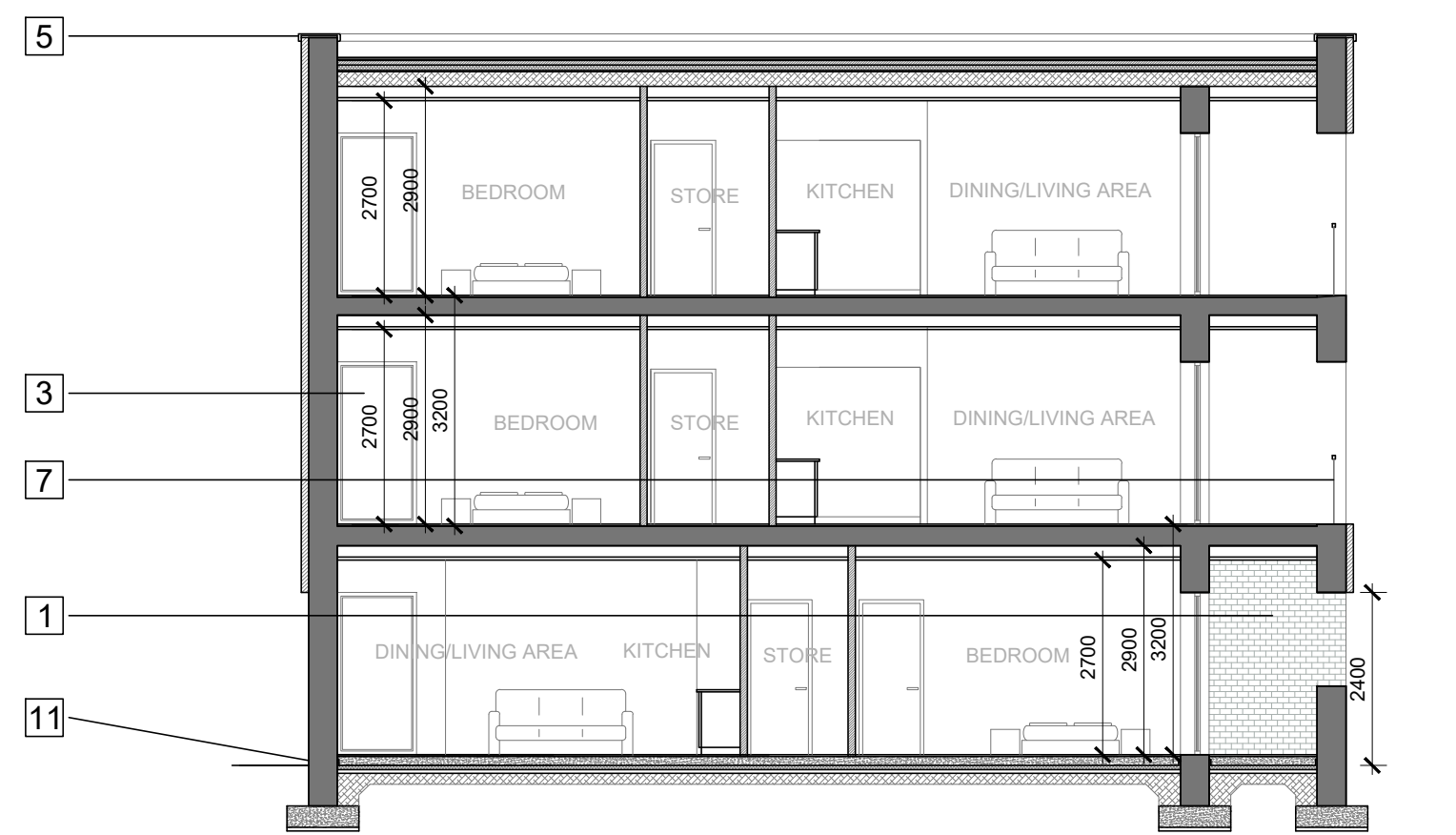
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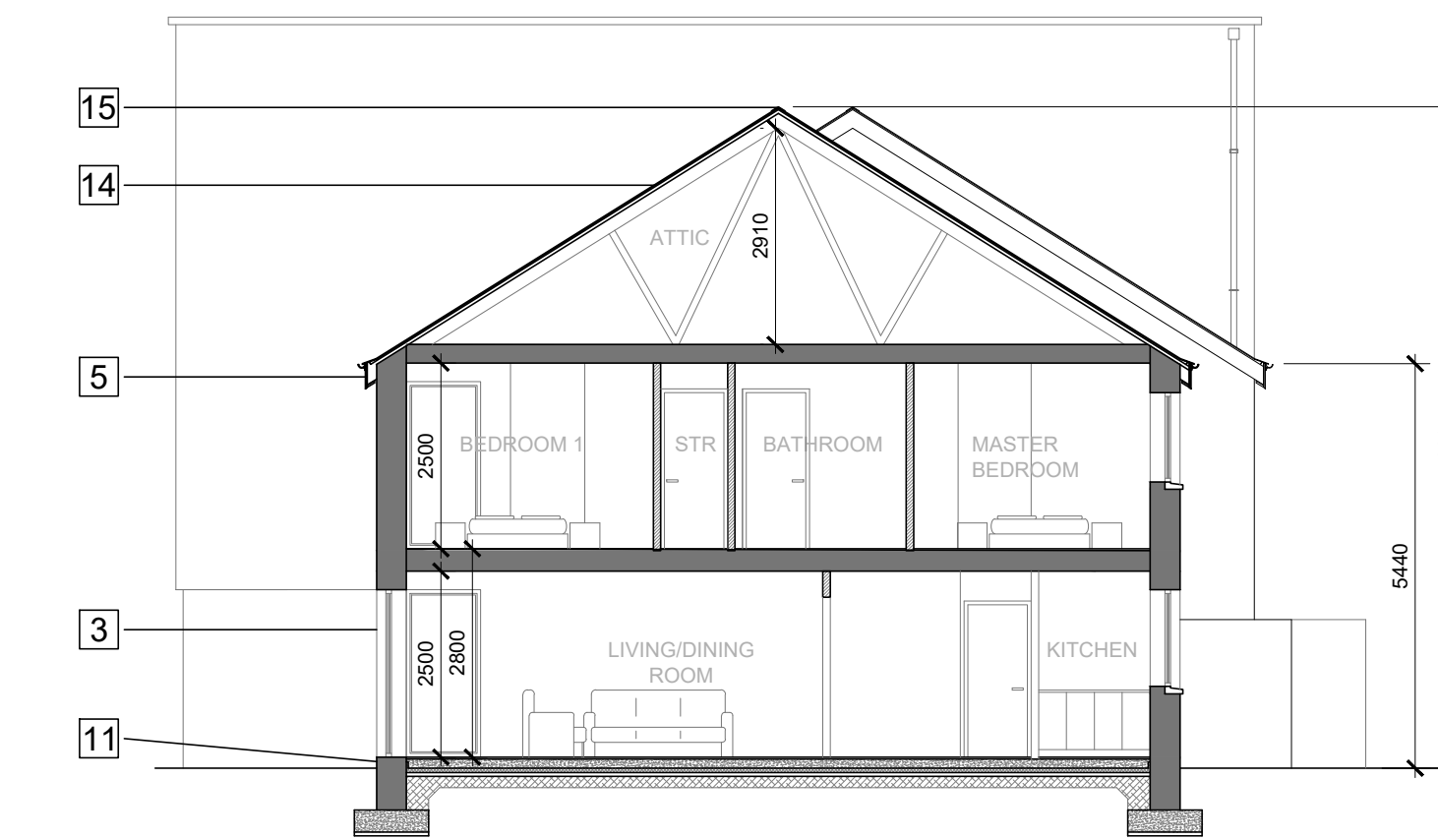
WEST ELEVATION - Block C
scale 1:100



EAST ELEVATION - Block C
scale 1:100



SECTION A-A - Block C
scale 1:100

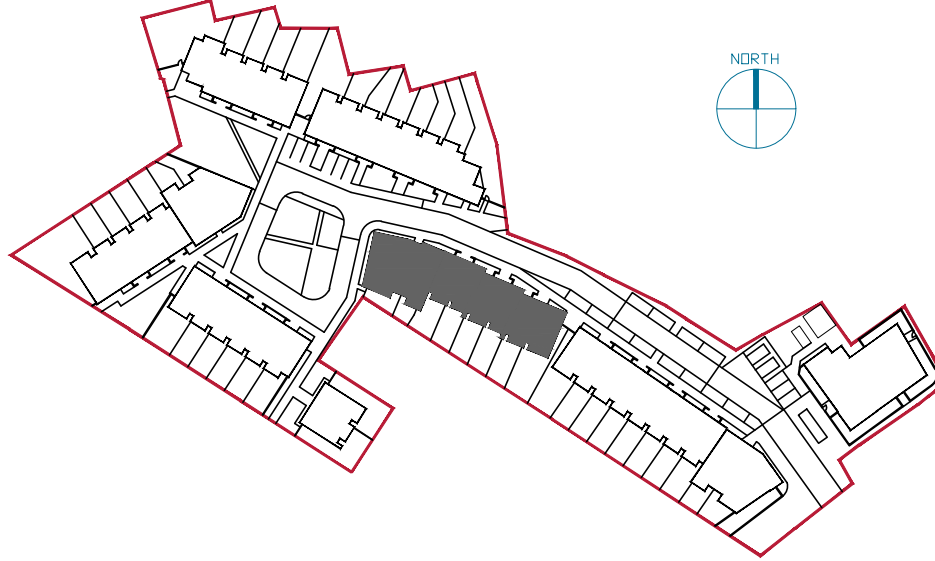


SECTION B-B - Block C
scale 1:100

OUTLINE SPECIFICATION NOTES

- 1— EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3— WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4— PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5— ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6— PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7— GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8— CONCRETE POST AND TIMBER INFILL PANELS
- 9— uPVC TIMBER FRONT DOOR
- 10— ALUMINIUM GUTTERS BOX DOWNPIPES
- 11— 150MM SMOOTH PLASTER PLINTH
- 12— LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13— VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14— BLACK SLATE FLAT TILE ON ROOF
- 15— BLACK RIDGE TILE
- 16— HOPPER TO ACCOMMODATE PARAPET DRAINAGE

KEY PLAN



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY GAHAN ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK C ELEVATIONS AND SECTIONS			
Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.09.27
Project No. 17147	Drg. No. 17147/P/302	Revision P3	
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Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City- BLOCK D

PROJECT NO.: 17147

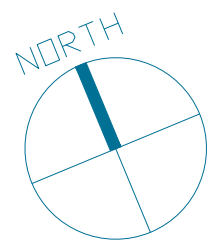
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DATE: 02.06.20

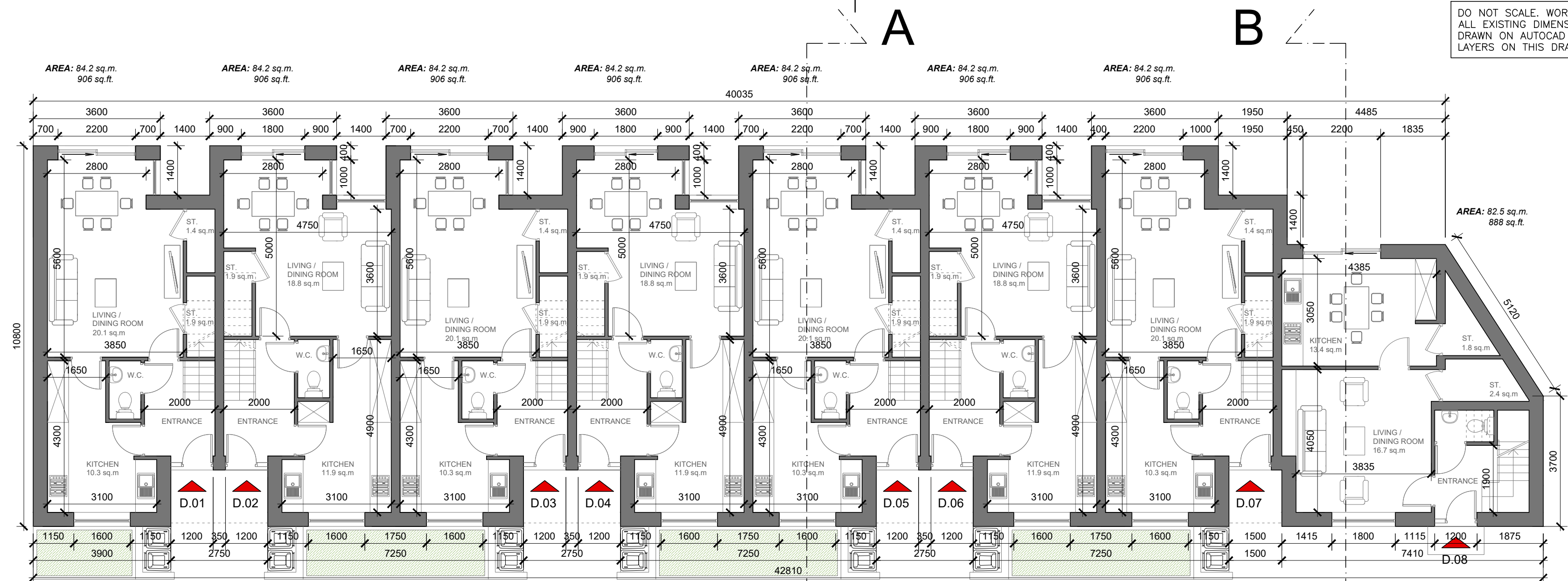
SCALE: NTS @ A3

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GAHAN**
ARCHITECTS

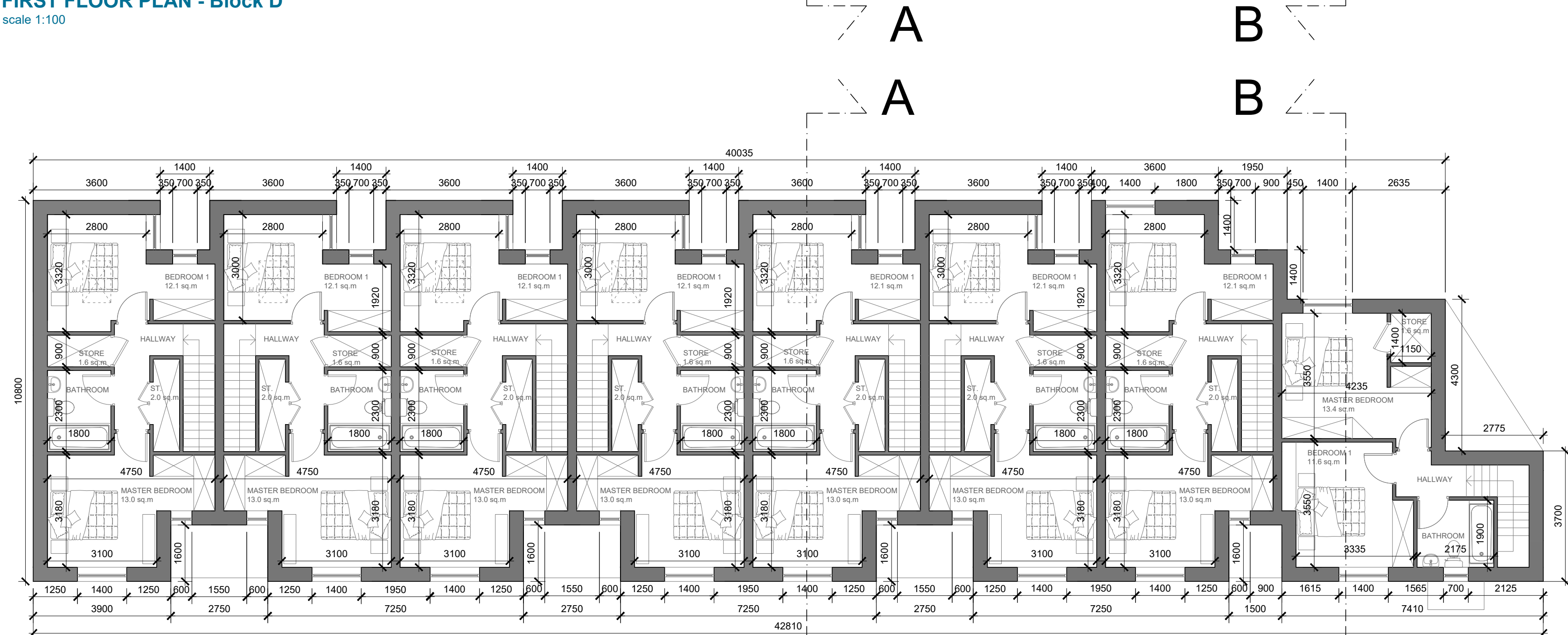
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



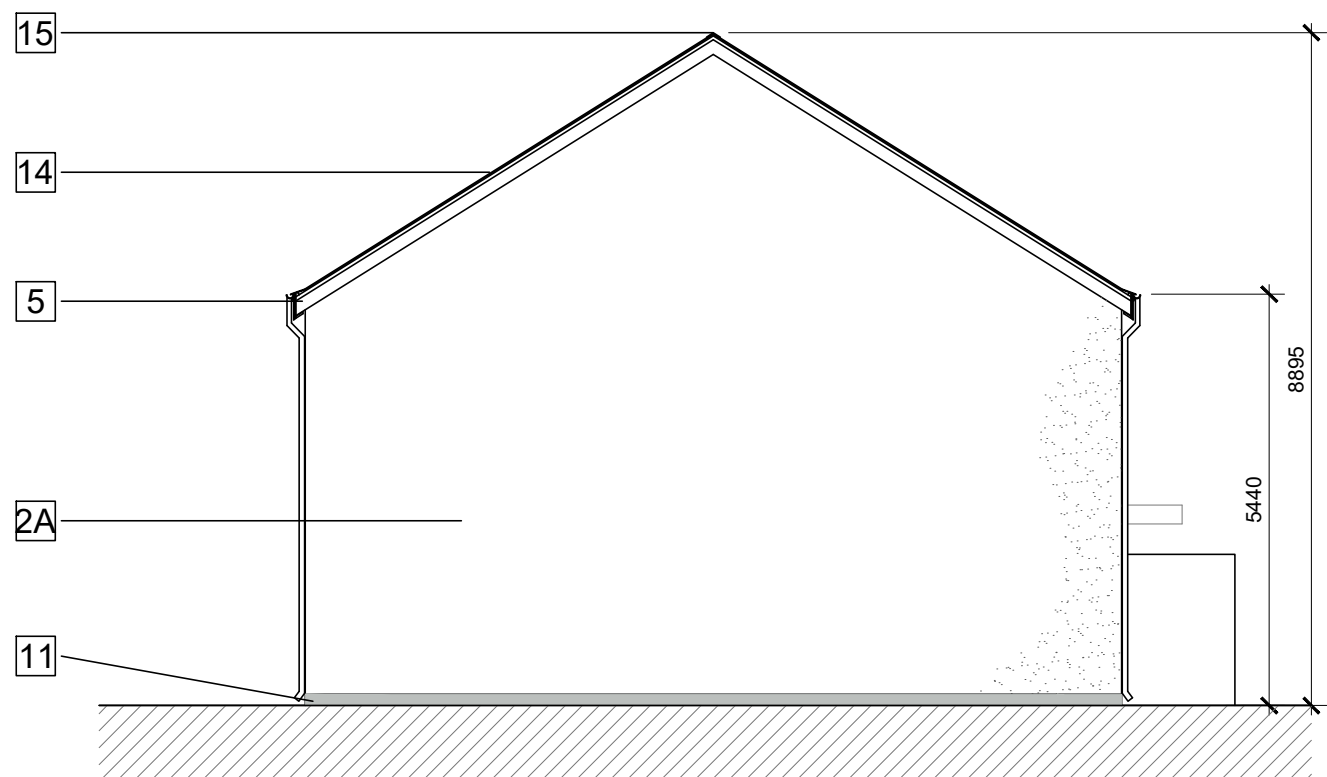
FIRST FLOOR PLAN - Block D
scale 1:100



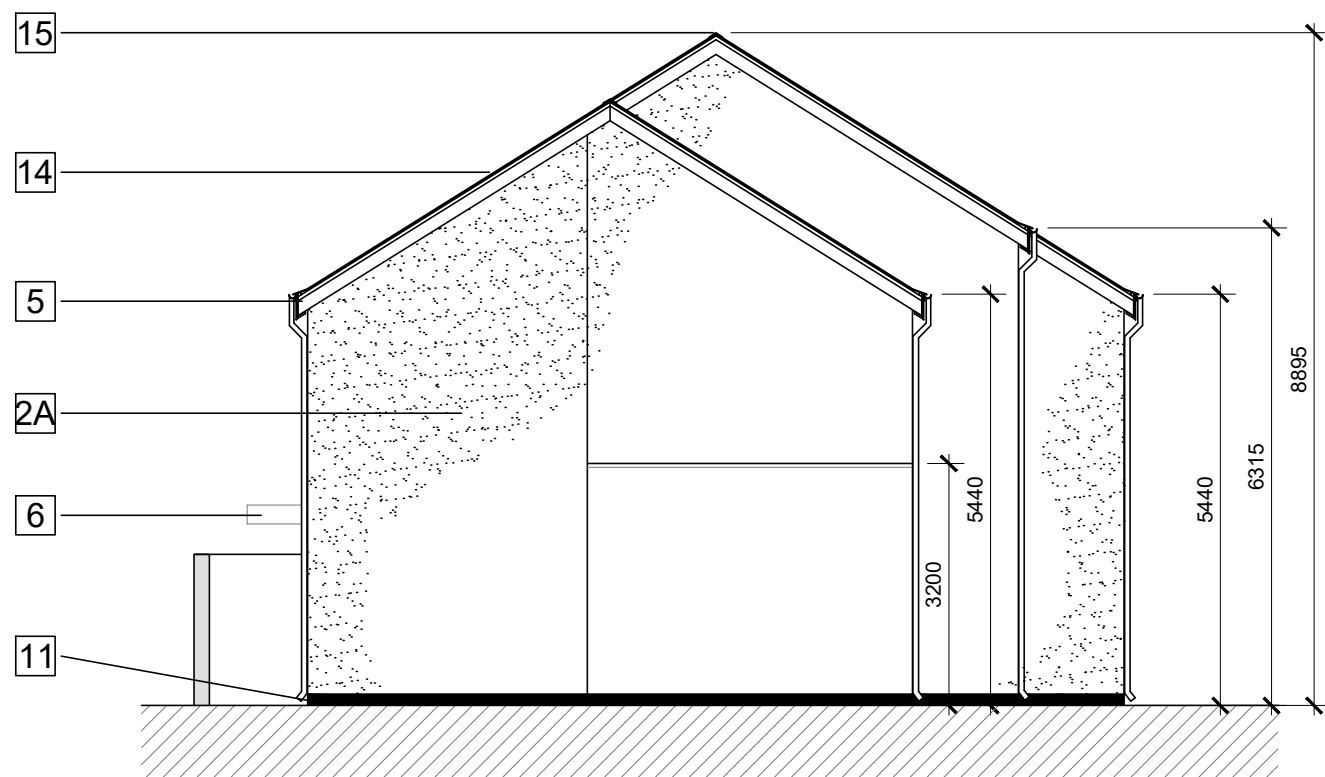
GROUND FLOOR PLAN - Block D
scale 1:100



SOUTH ELEVATION
scale 1:100



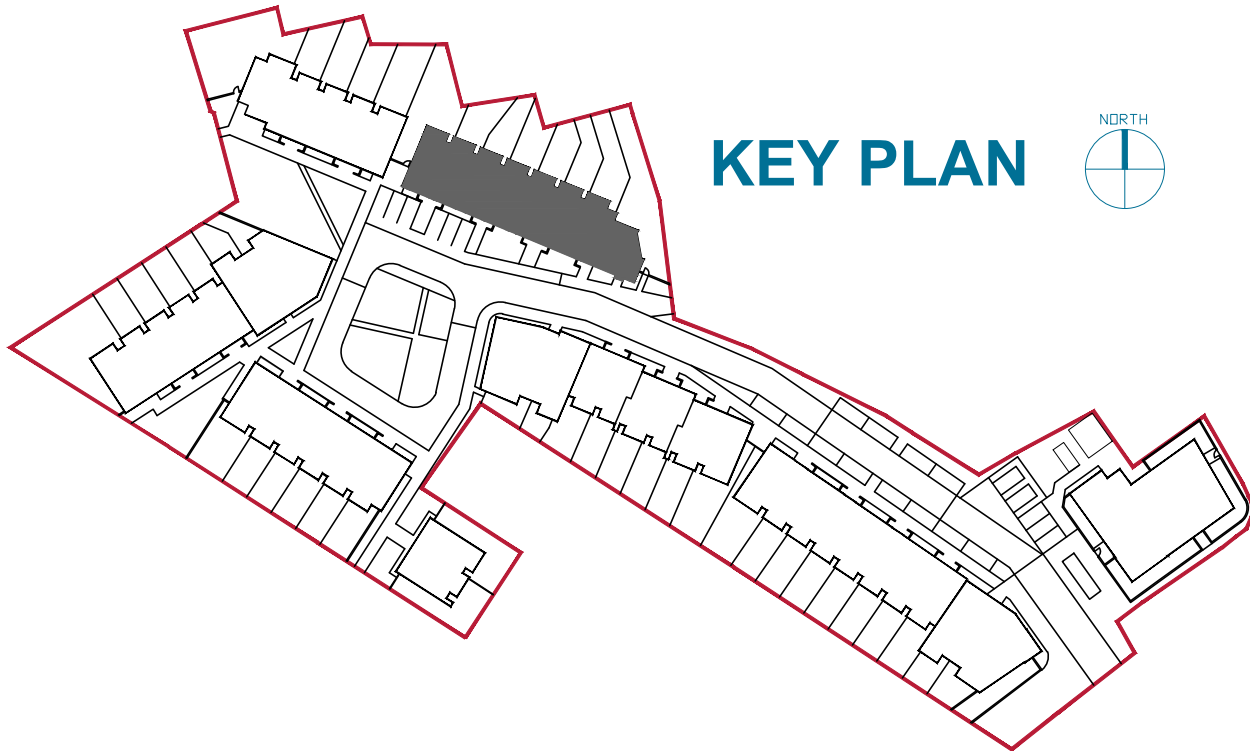
WEST ELEVATION
scale 1:100



EAST ELEVATION
scale 1:100

OUTLINE SPECIFICATION NOTES

- EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- PRESSING METAL PANEL TO MATCH WINDOW FRAME
- ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- CONCRETE POST AND TIMBER INFILL PANELS
- UPVC TIMBER FRONT DOOR
- ALUMINIUM GUTTERS BOX DOWNPIPES
- 150MM SMOOTH PLASTER PLINTH
- LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- BLACK SLATE FLAT TILE ON ROOF
- BLACK RIDGE TILE



KEY PLAN

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

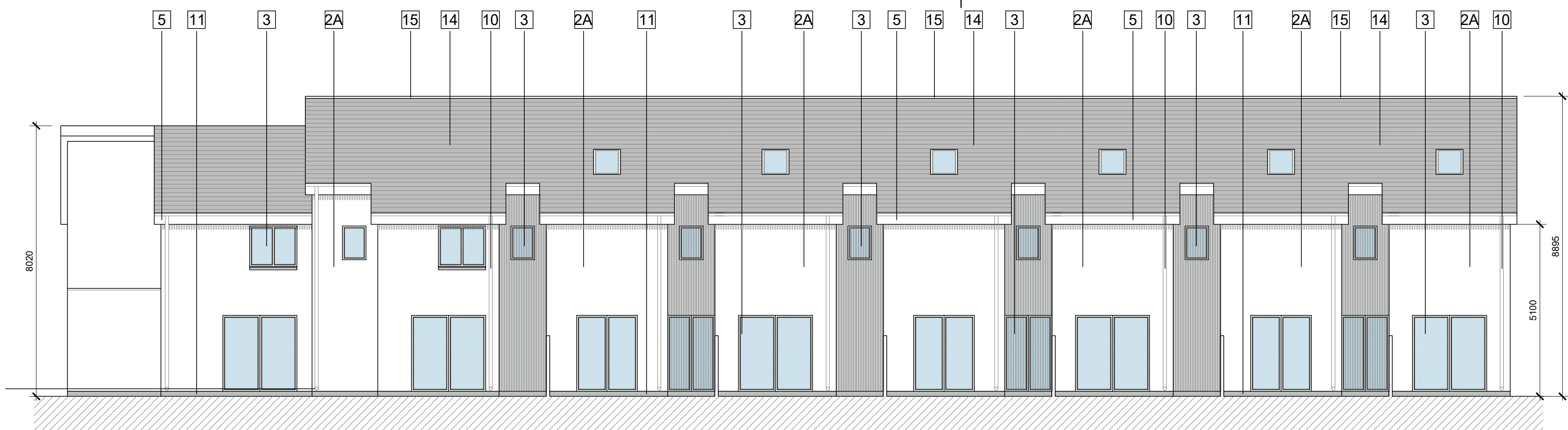
DEADY GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgaarchitects.ie

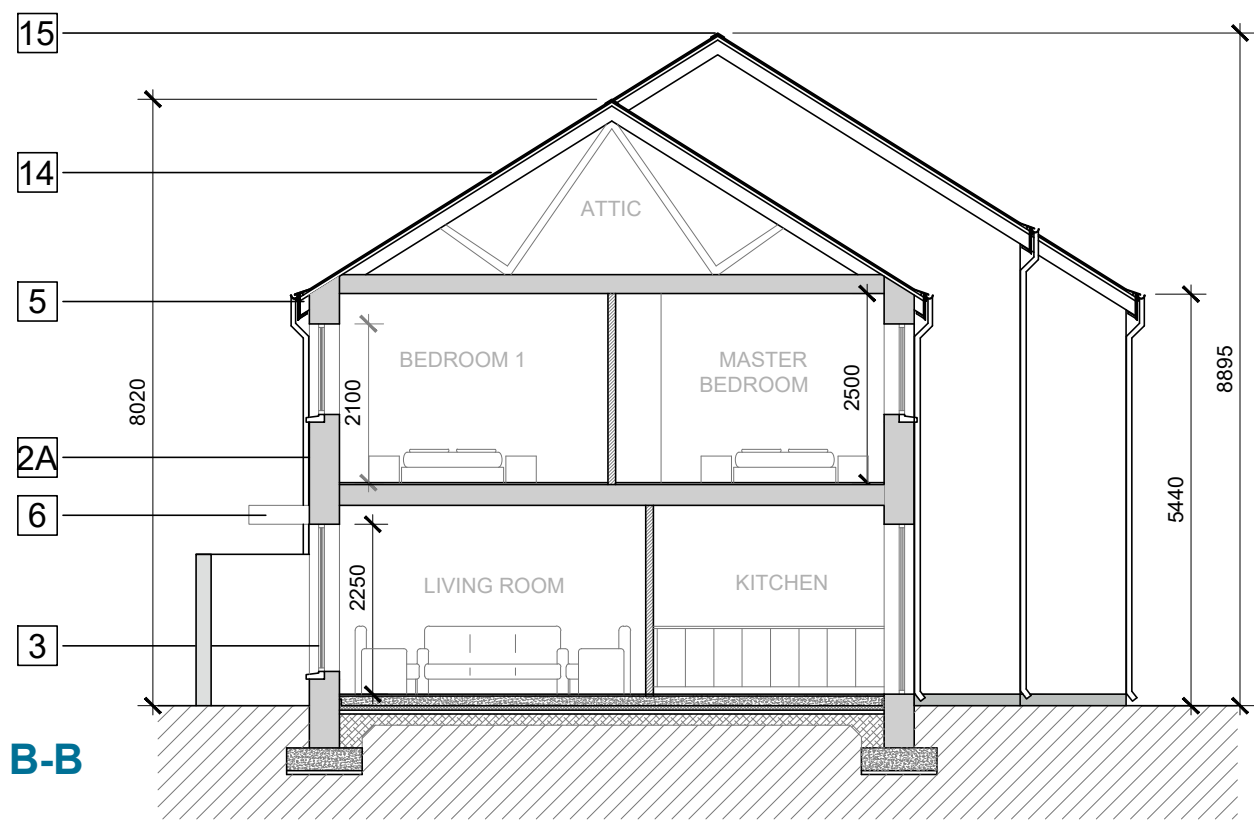
Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK D GROUND FLOOR, FIRST FLOOR AND SOUTH, WEST AND EAST ELEVATIONS	Scale 1:100 @ A1	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/IP/401	Revision P3	Information \ Comments	Tender
Planning			Construction	

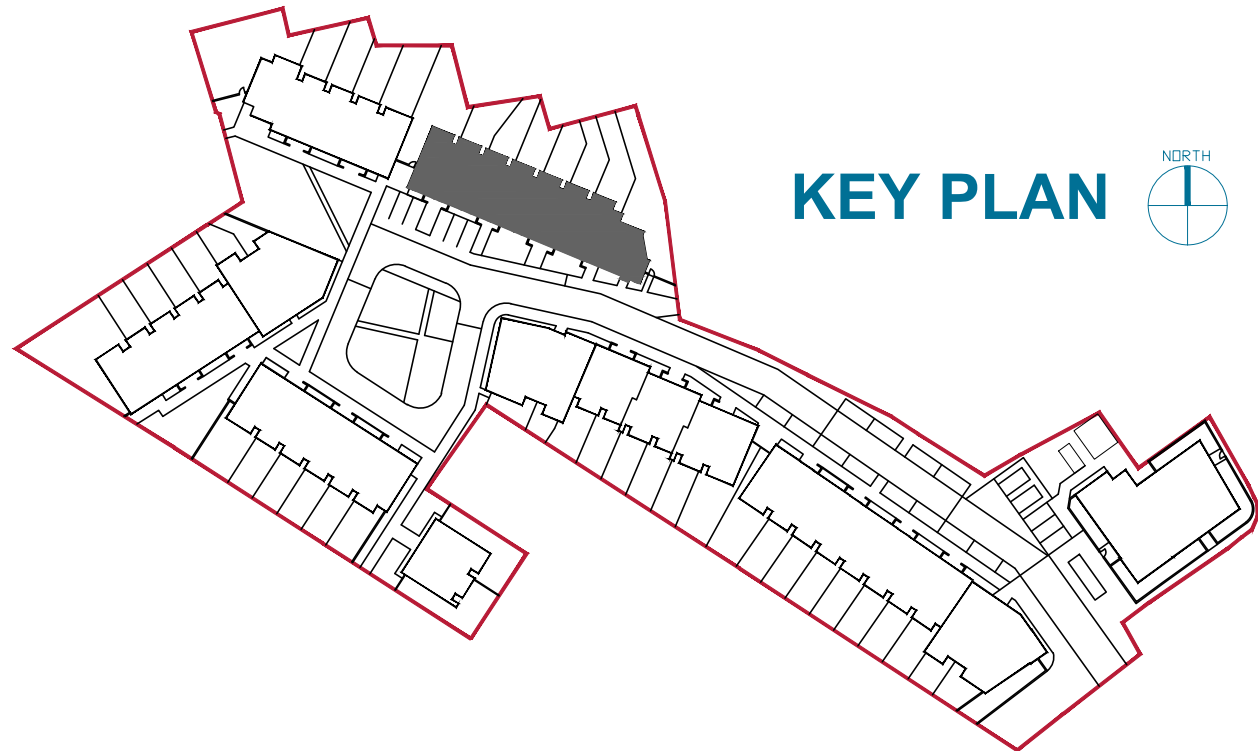
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



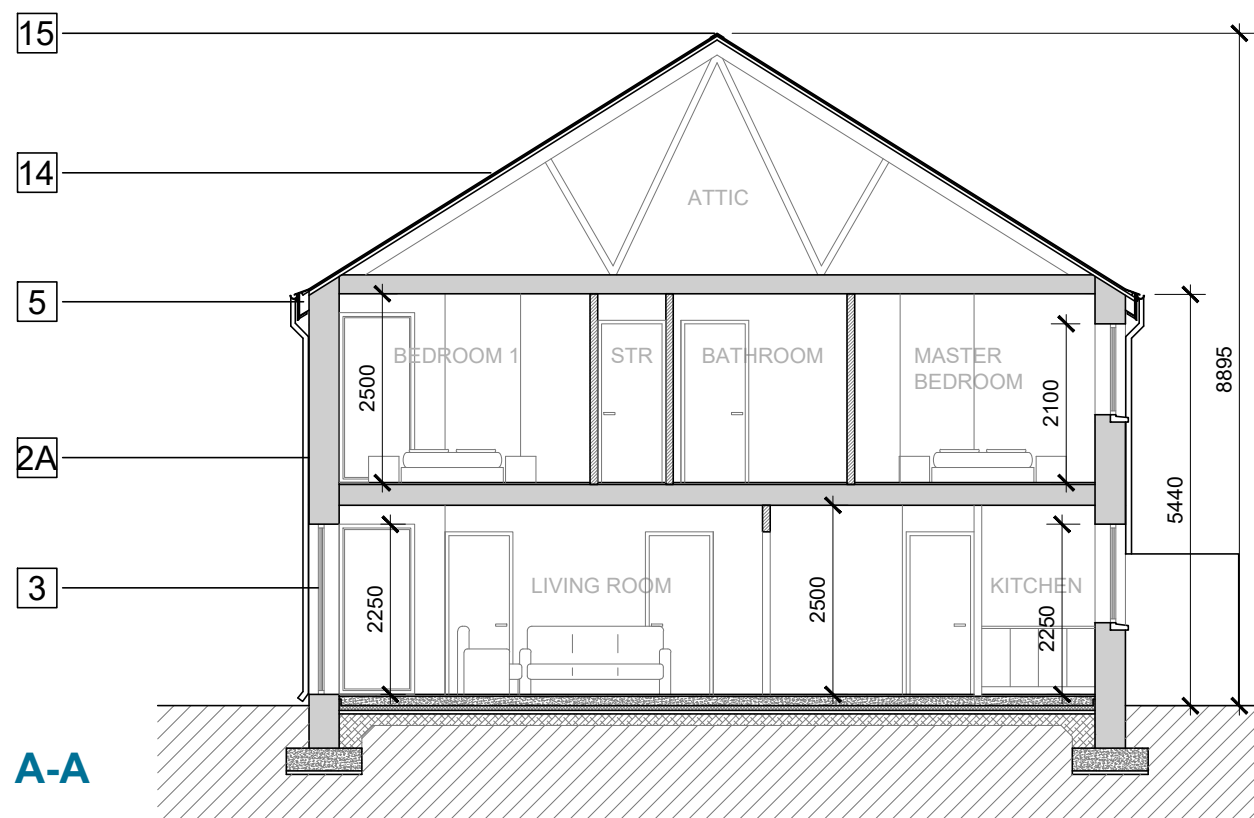
NORTH ELEVATION
scale 1:100



SECTION B-B
scale 1:100



KEY PLAN

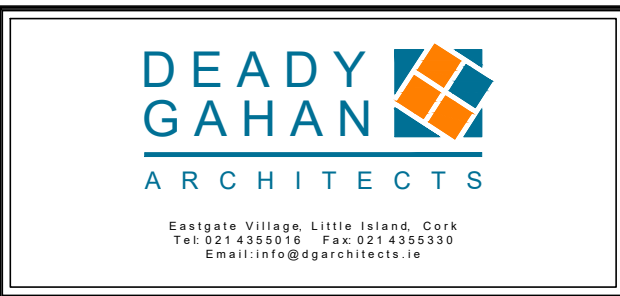


SECTION A-A
scale 1:100

OUTLINE SPECIFICATION NOTES

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
- 10 — ALUMINIUM GUTTERS BOX DOWNPIPES
- 11 — 150MM SMOOTH PLASTER PLINTH
- 12 — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title			
BLOCK D NORTH ELEVATION AND SECTIONS A-A & B-B			
Scale 1:100 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/402	Revision P3	
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Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK E

PROJECT NO.: 17147

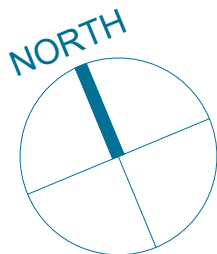
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DATE: 02.06.20

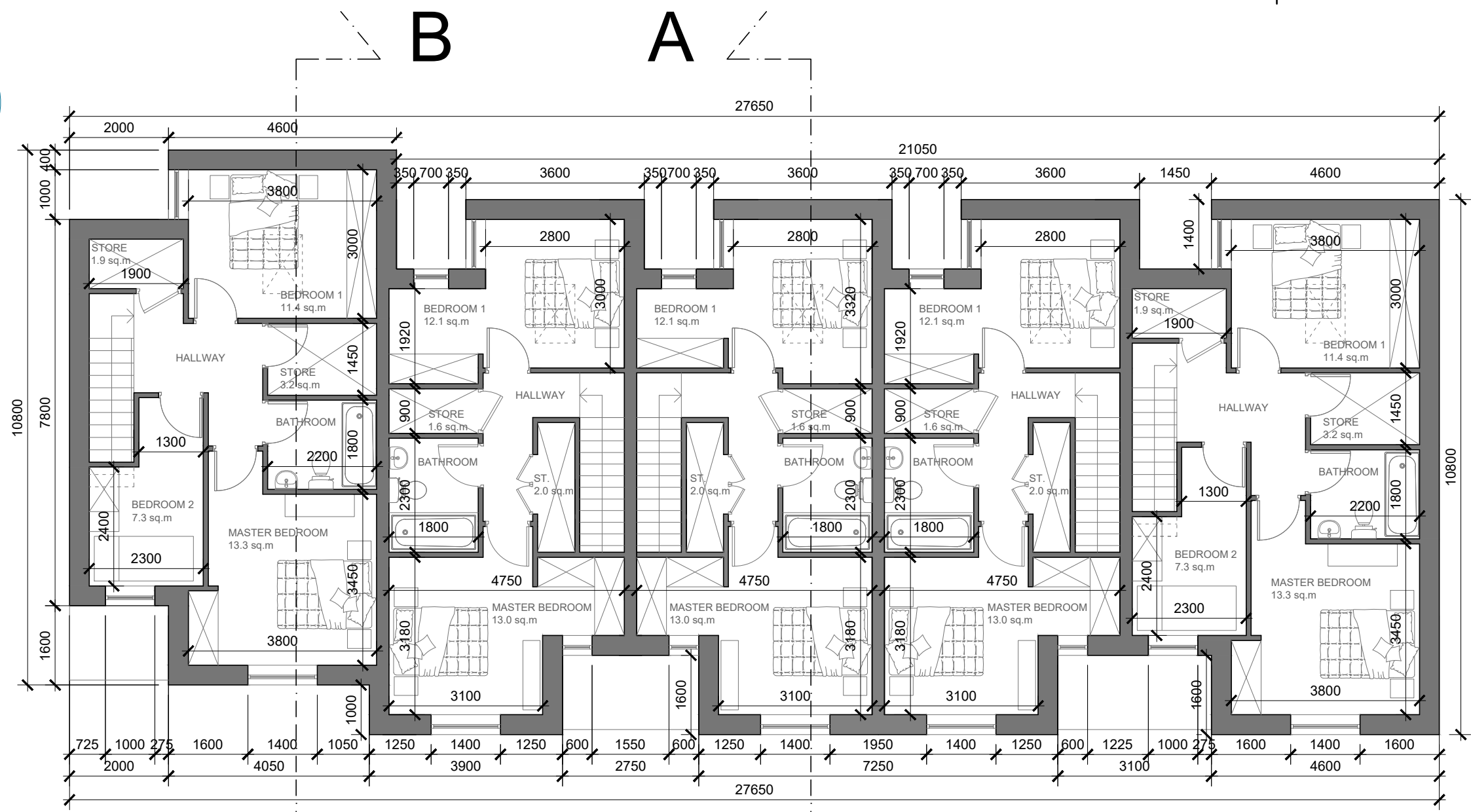
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**DEADY
GAHAN** 
ARCHITECTS

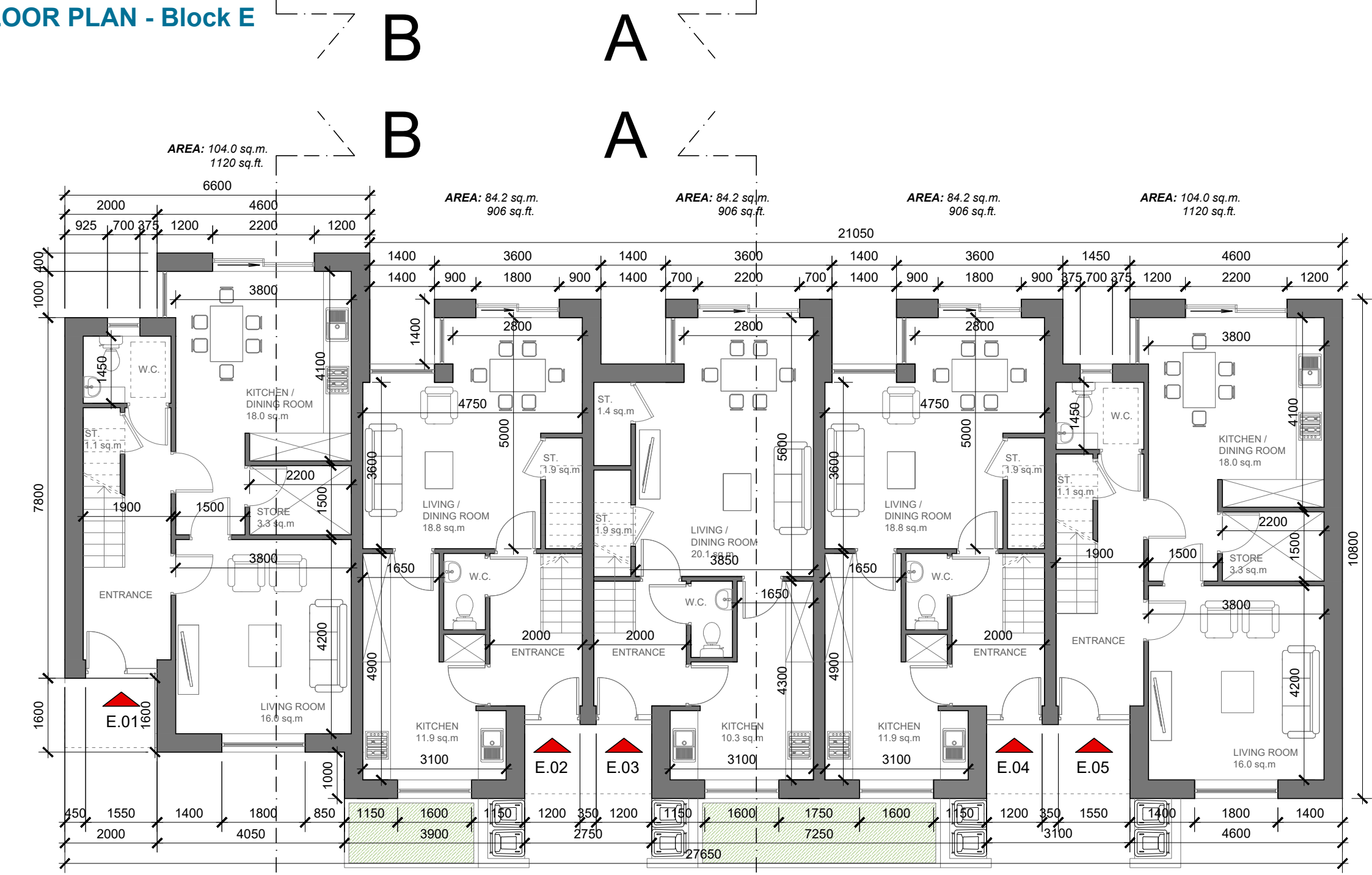
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



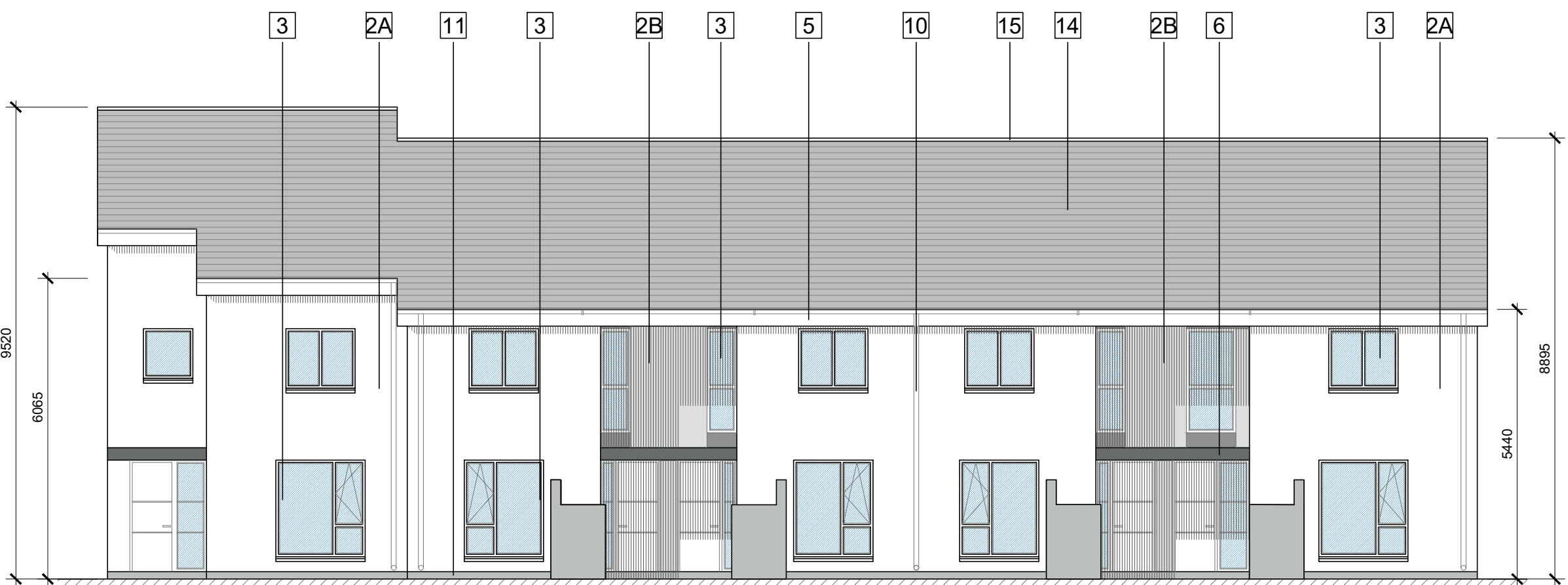
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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



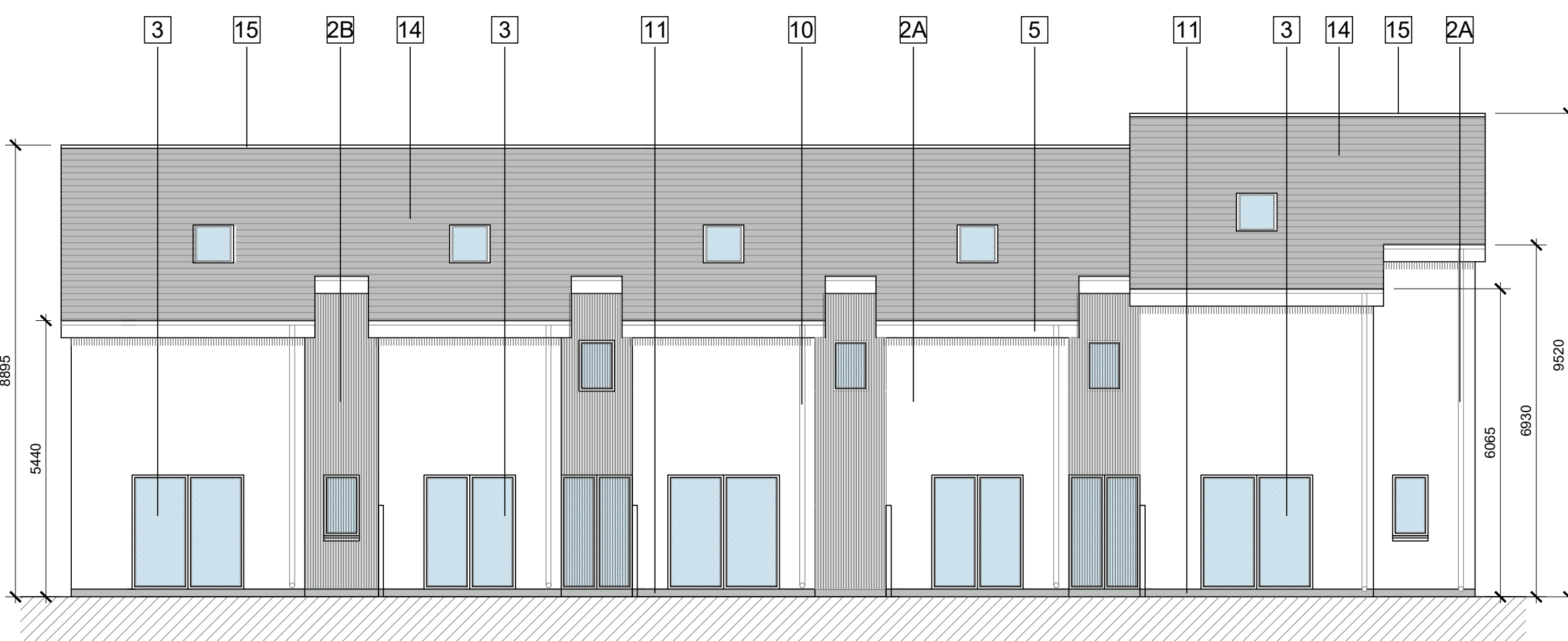
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scale 1:100



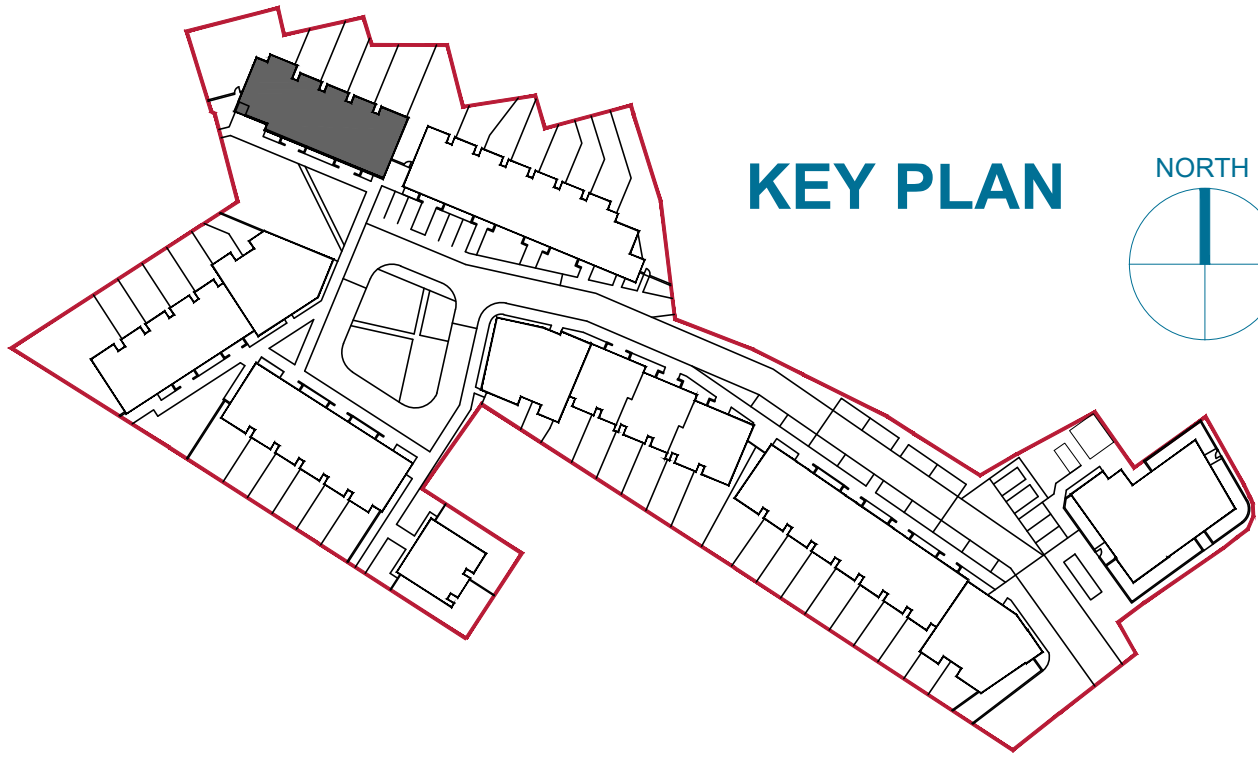
GROUND FLOOR PLAN - Block E
scale 1:100



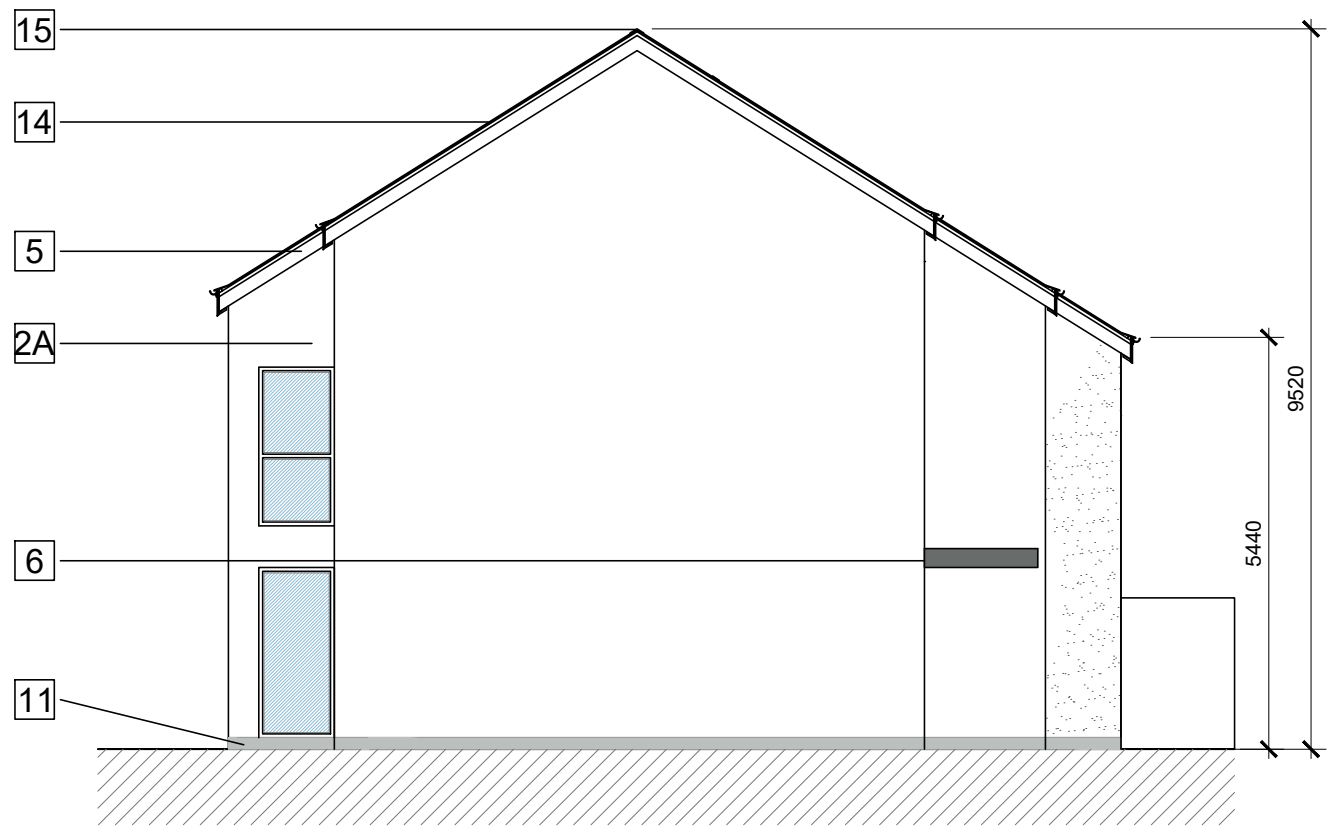
NORTH ELEVATION
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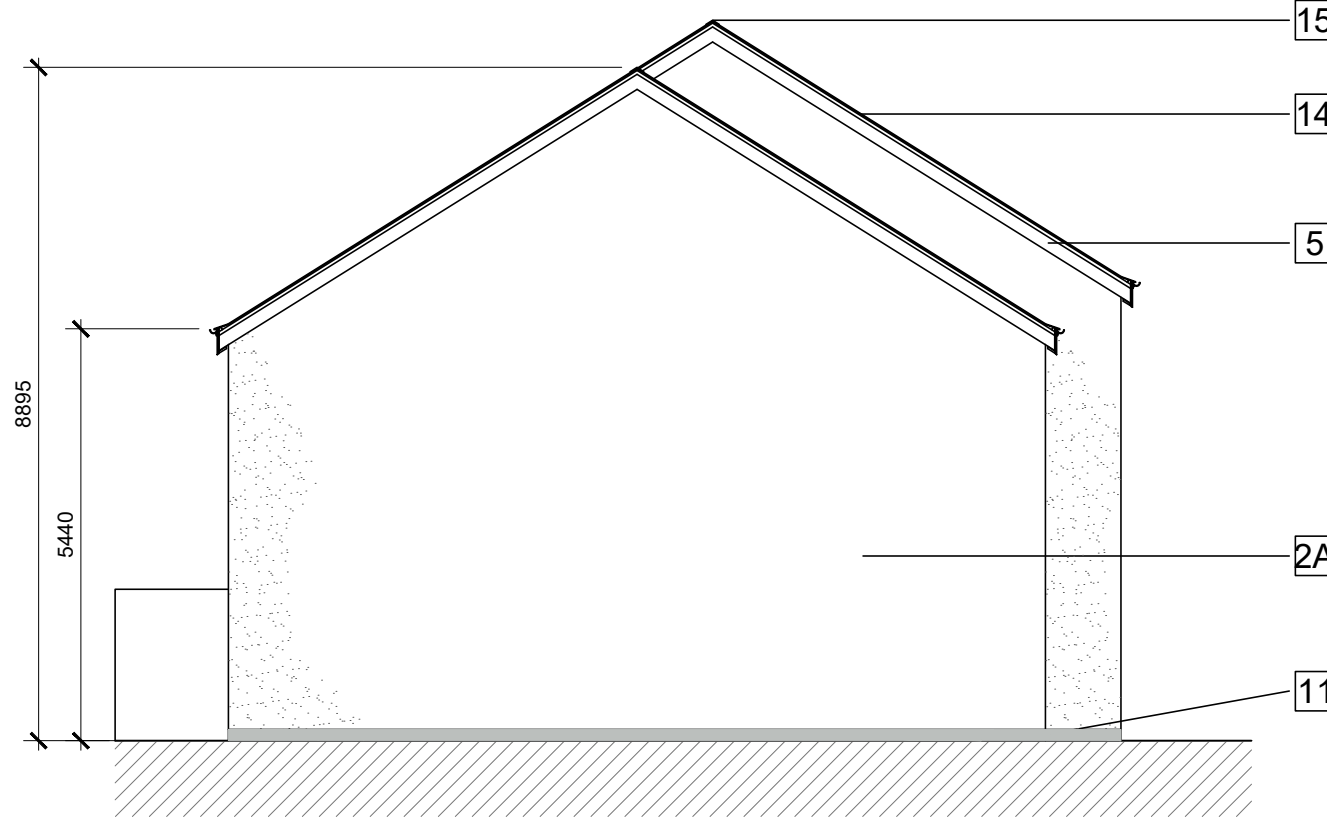
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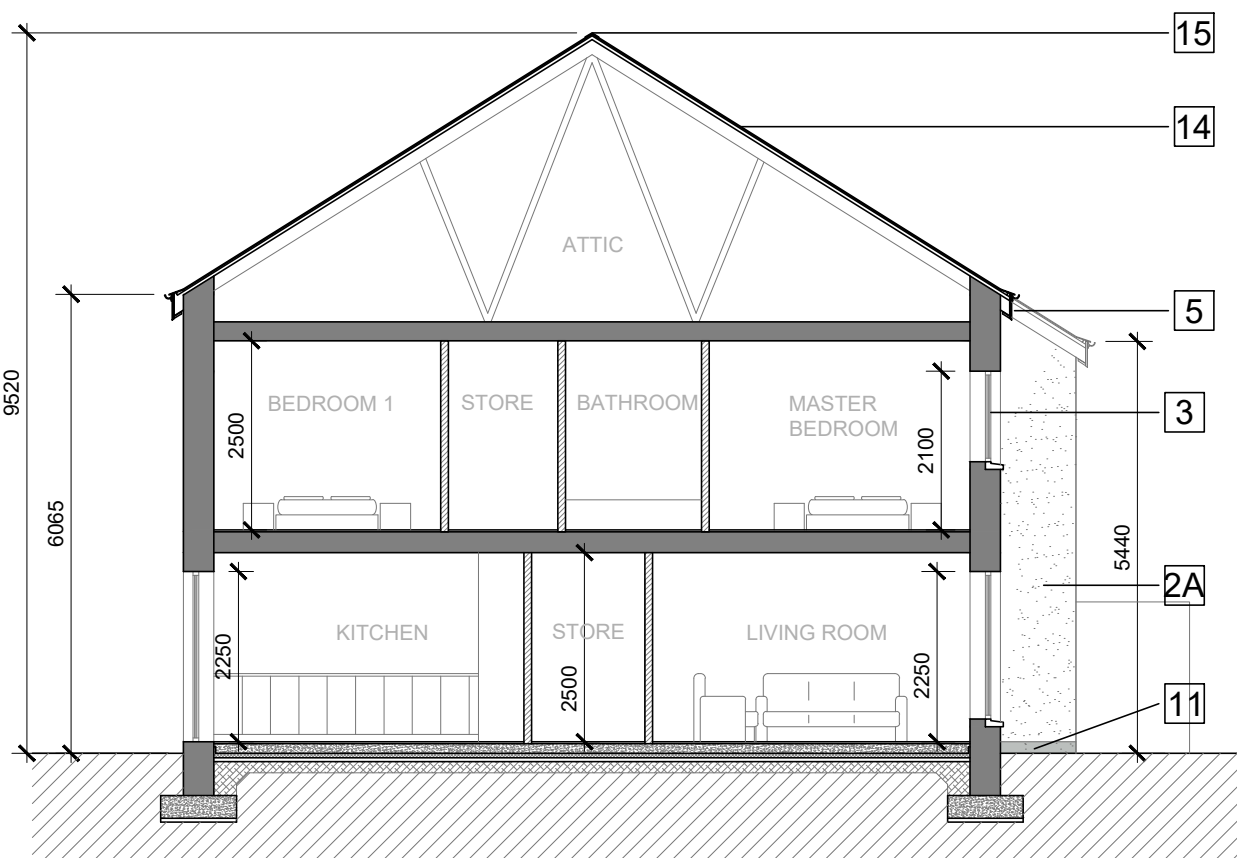
KEY PLAN



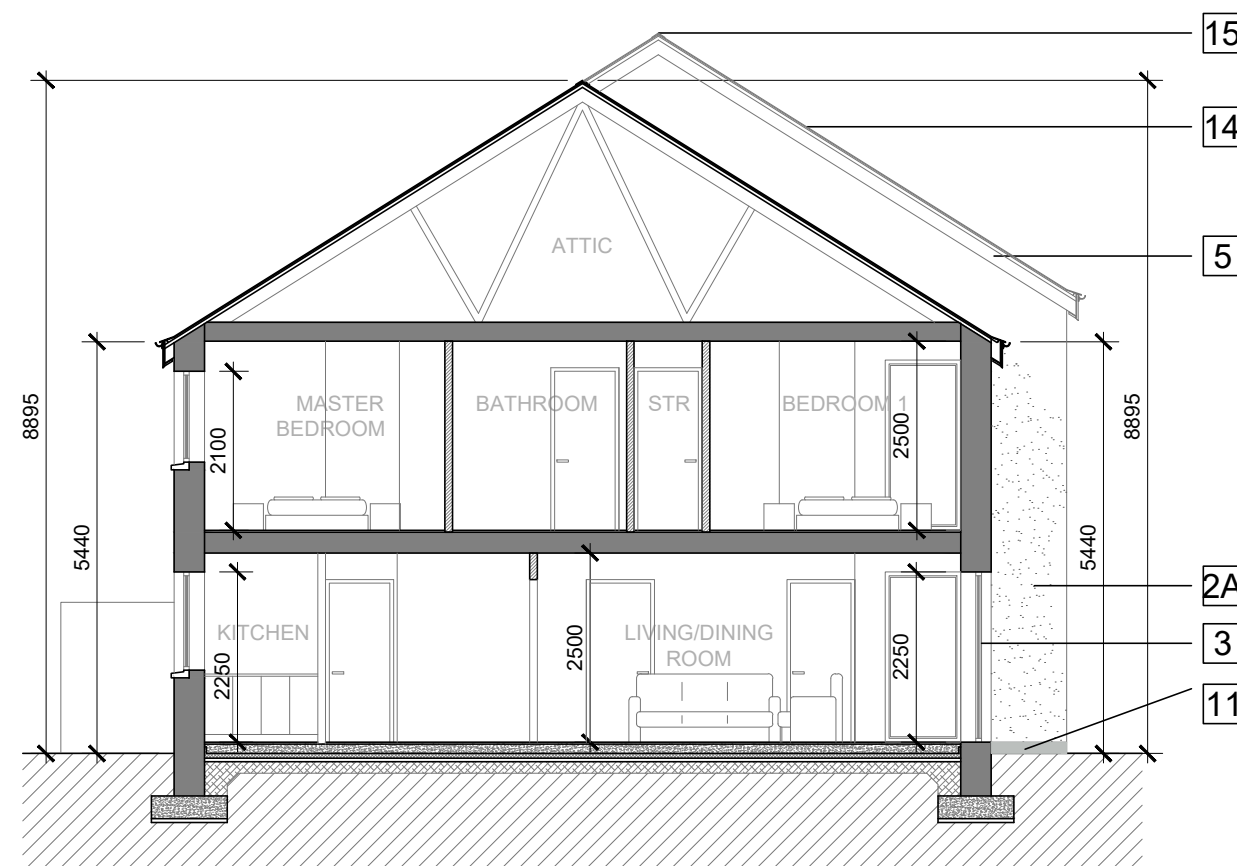
EAST ELEVATION
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WEST ELEVATION
scale 1:100



SECTION B-B
scale 1:100



SECTION A-A
scale 1:100

OUTLINE SPECIFICATION NOTES

- EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
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- ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- CONCRETE POST AND TIMBER INFILL PANELS
- uPVC TIMBER FRONT DOOR
- ALUMINIUM GUTTERS BOX DOWNPIPES
- 150MM SMOOTH PLASTER PLINTH
- LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- BLACK SLATE FLAT TILE ON ROOF
- BLACK RIDGE TILE

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY
GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK E GROUND FLOOR, FIRST FLOOR, ELEVATIONS AND SECTIONS			
Scale 1:100 @ A1	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drp. No. 17147/P/501	Revision P3	
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
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Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK F

PROJECT NO.: 17147

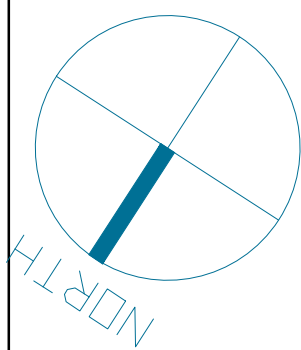
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DATE: 02.06.20

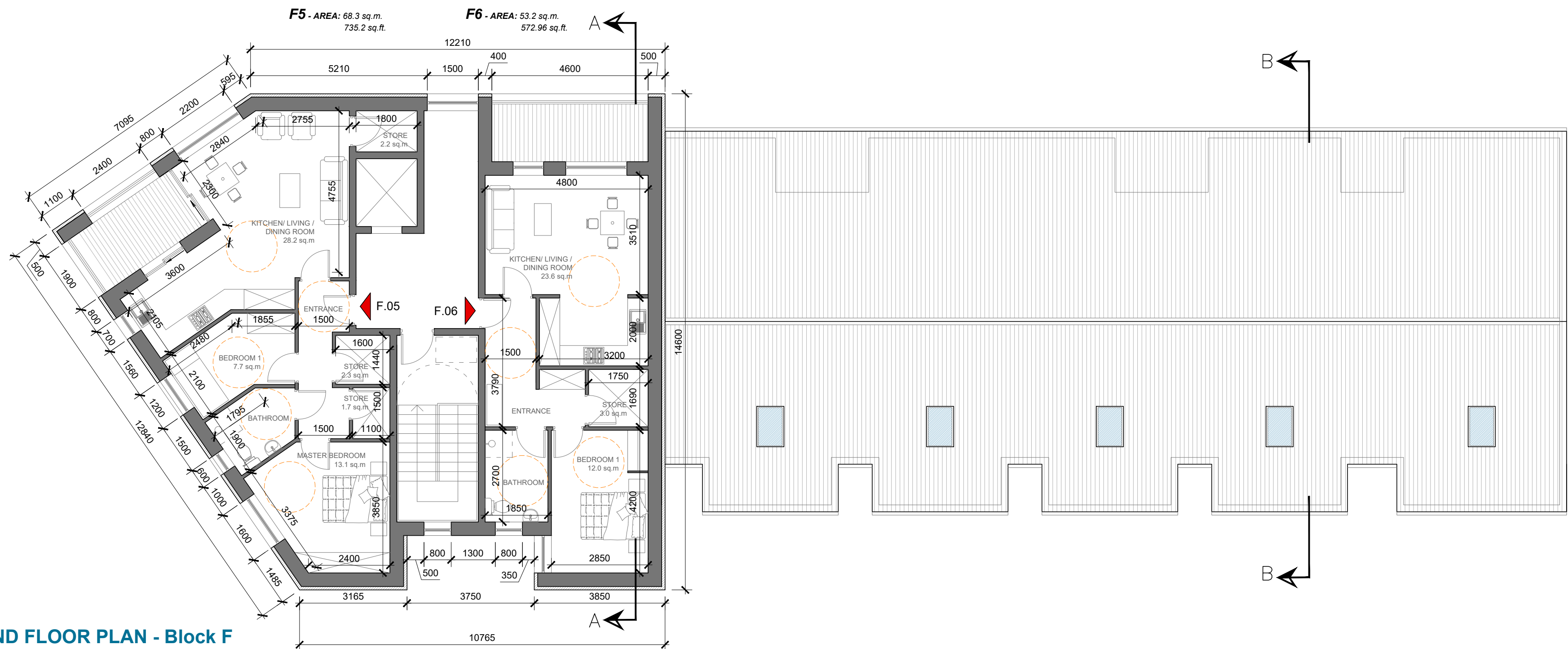
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GAHAN**
ARCHITECTS

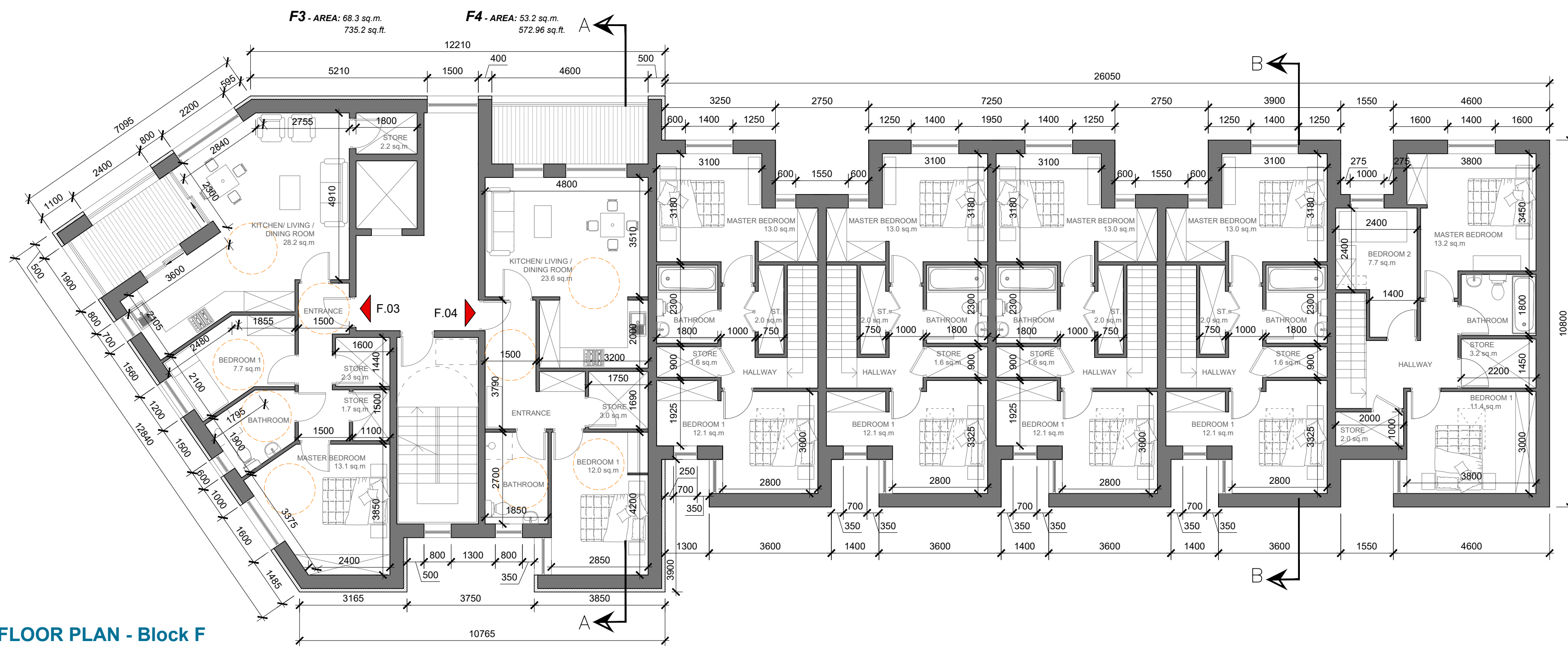
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



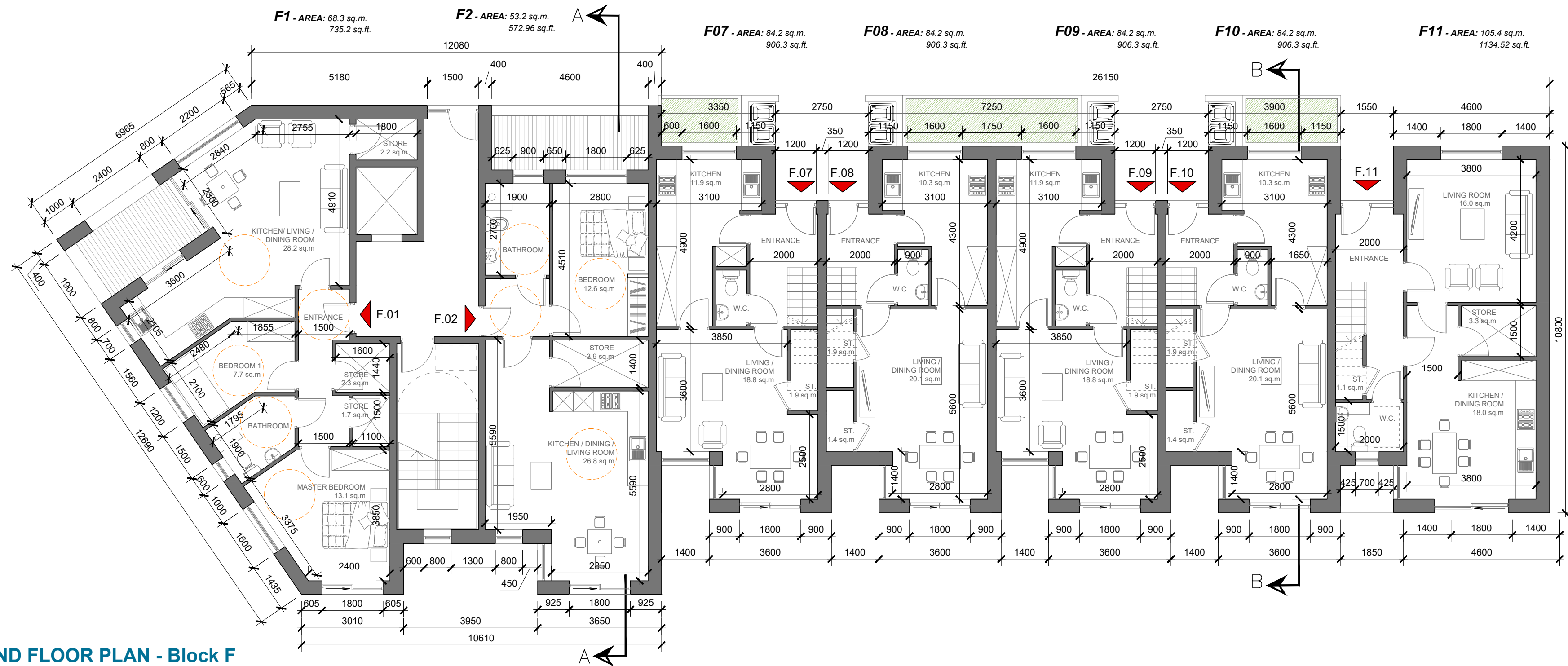
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ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



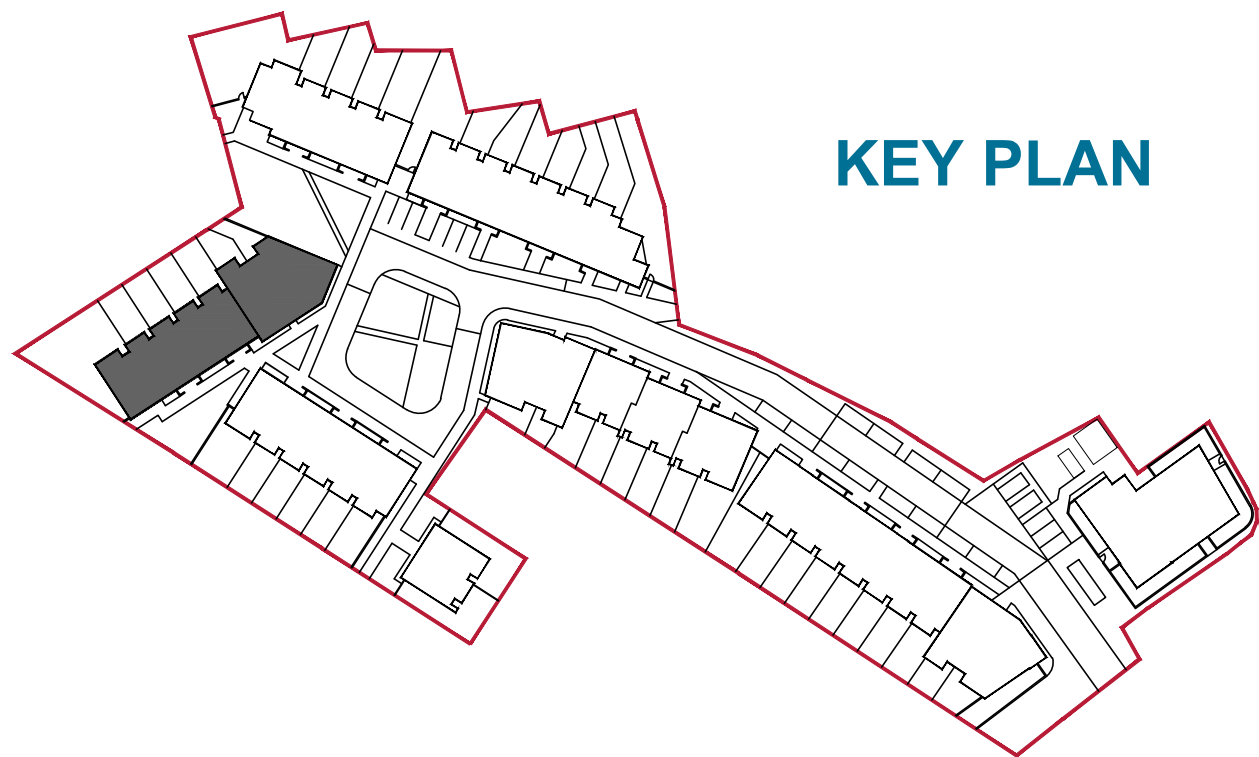
SECOND FLOOR PLAN - Block F
scale 1:100



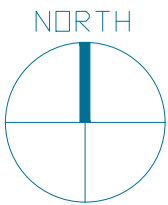
FIRST FLOOR PLAN - Block F
scale 1:100



GROUND FLOOR PLAN - Block F
scale 1:100



KEY PLAN



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

**DEADY
GAHAN
ARCHITECTS**

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgaarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

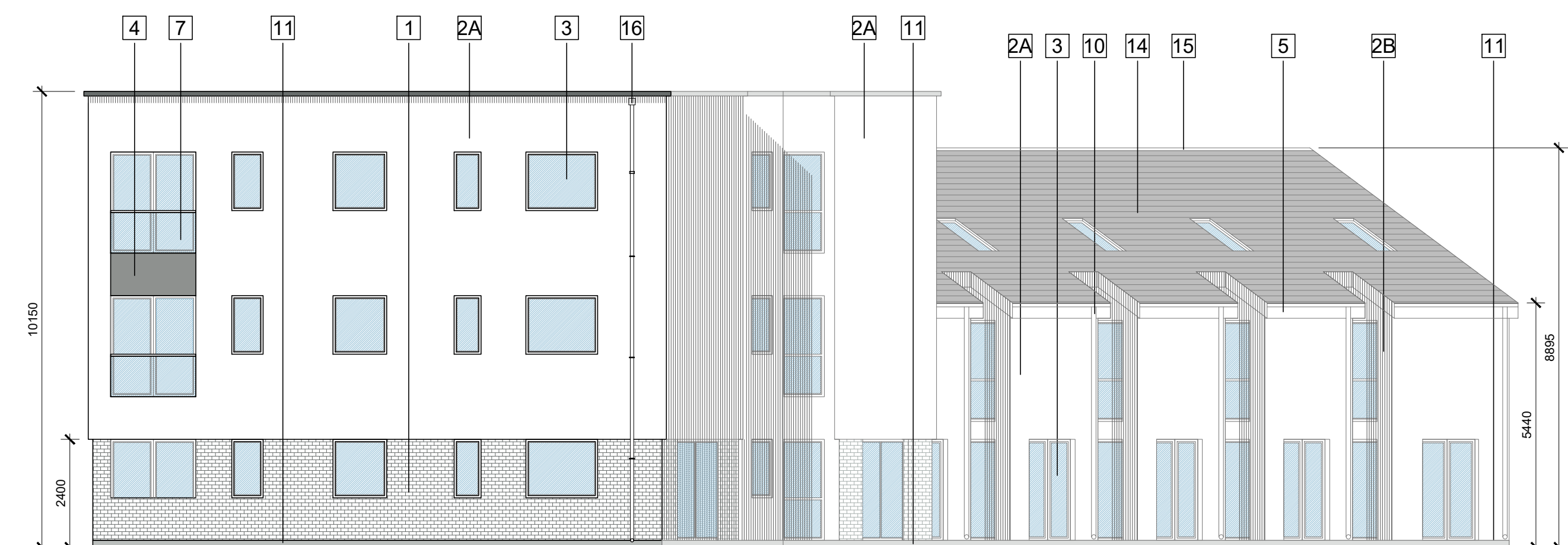
Drawing title			
BLOCK F GROUND FLOOR, FIRST FLOOR AND SECOND FLOOR PLANS			
Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.02.26
Project No. 17147	Drig. No. 17147/IP/601	Revision P3	
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<input checked="" type="checkbox"/> Planning			Construction <input type="checkbox"/>

Architectural section drawing of a building. The drawing shows a cross-section with various rooms, corridors, and structural elements. Dimensions are indicated on the left and right sides. The left side shows a total height of 10150 and a base height of 2400. The right side shows a total height of 8895 and a base height of 5440. The drawing includes numerous callouts and labels for specific components.

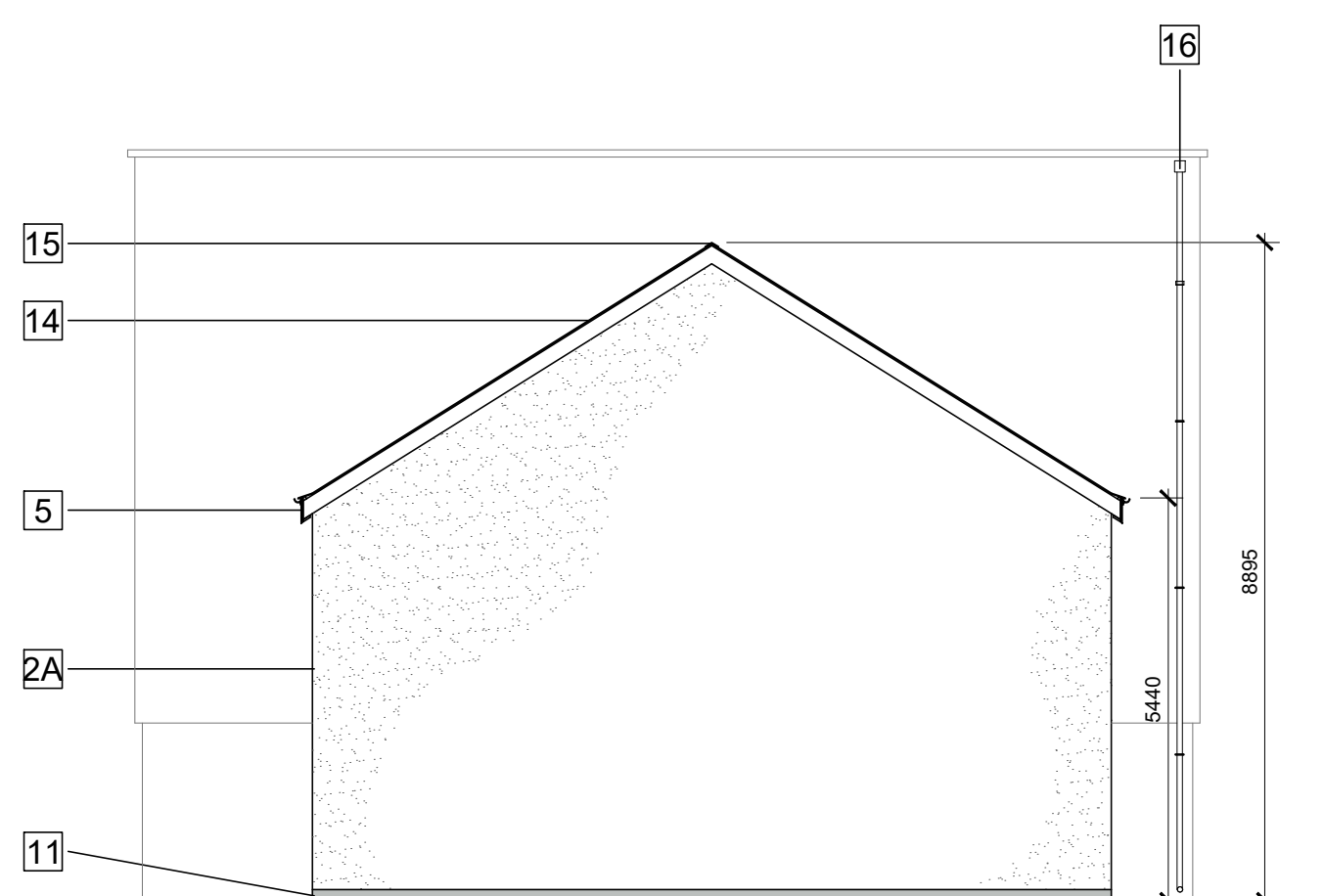
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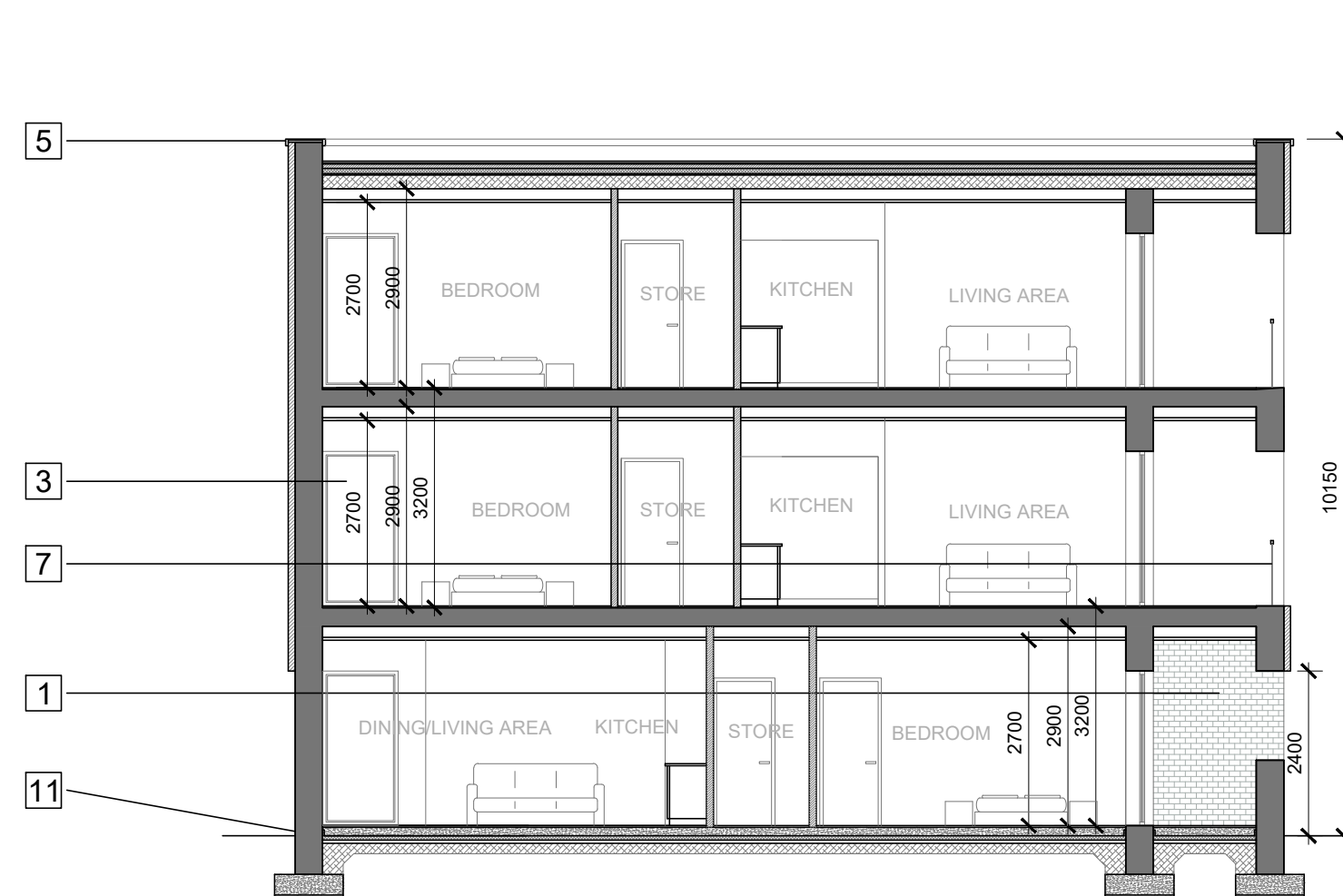
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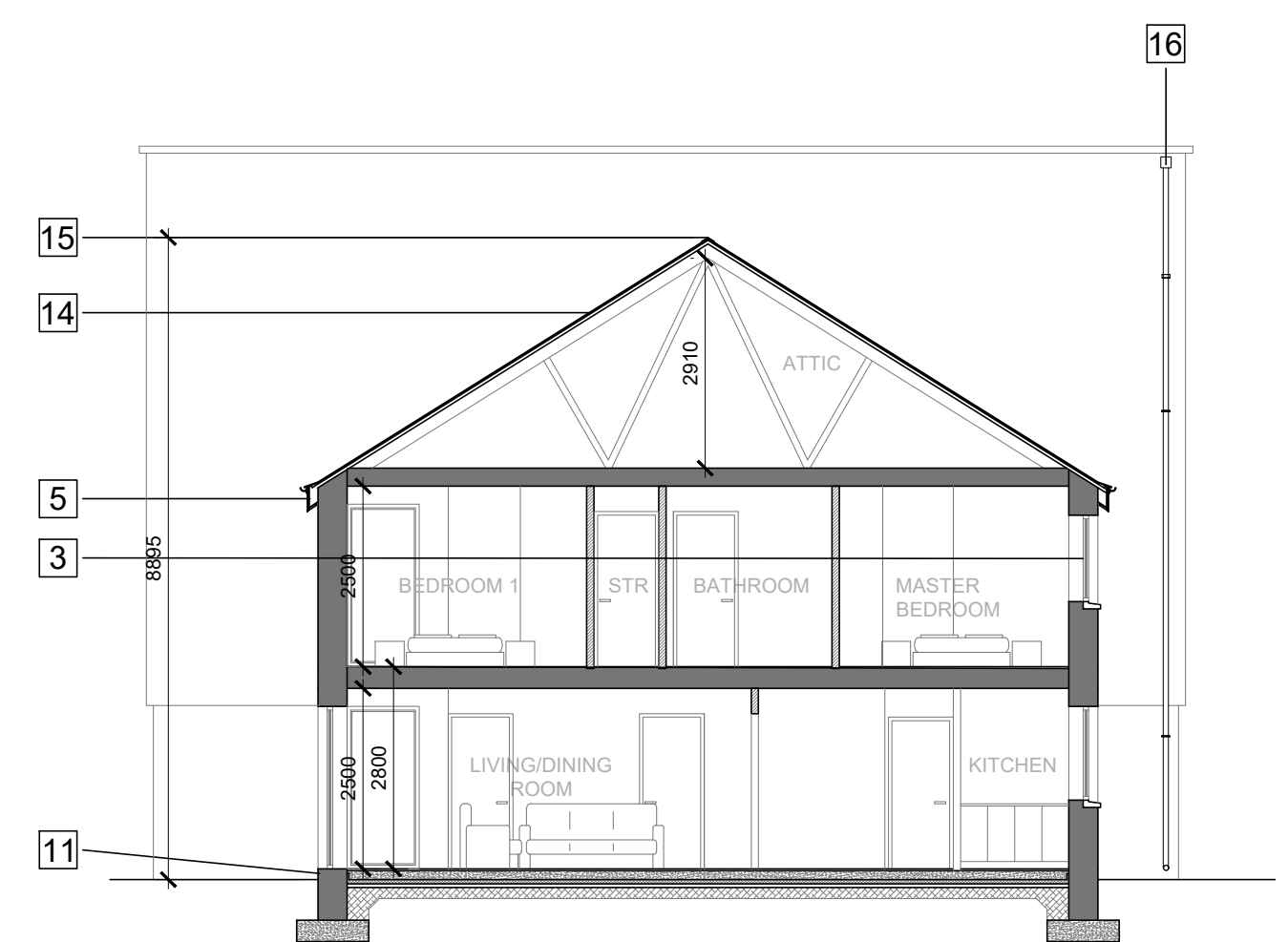
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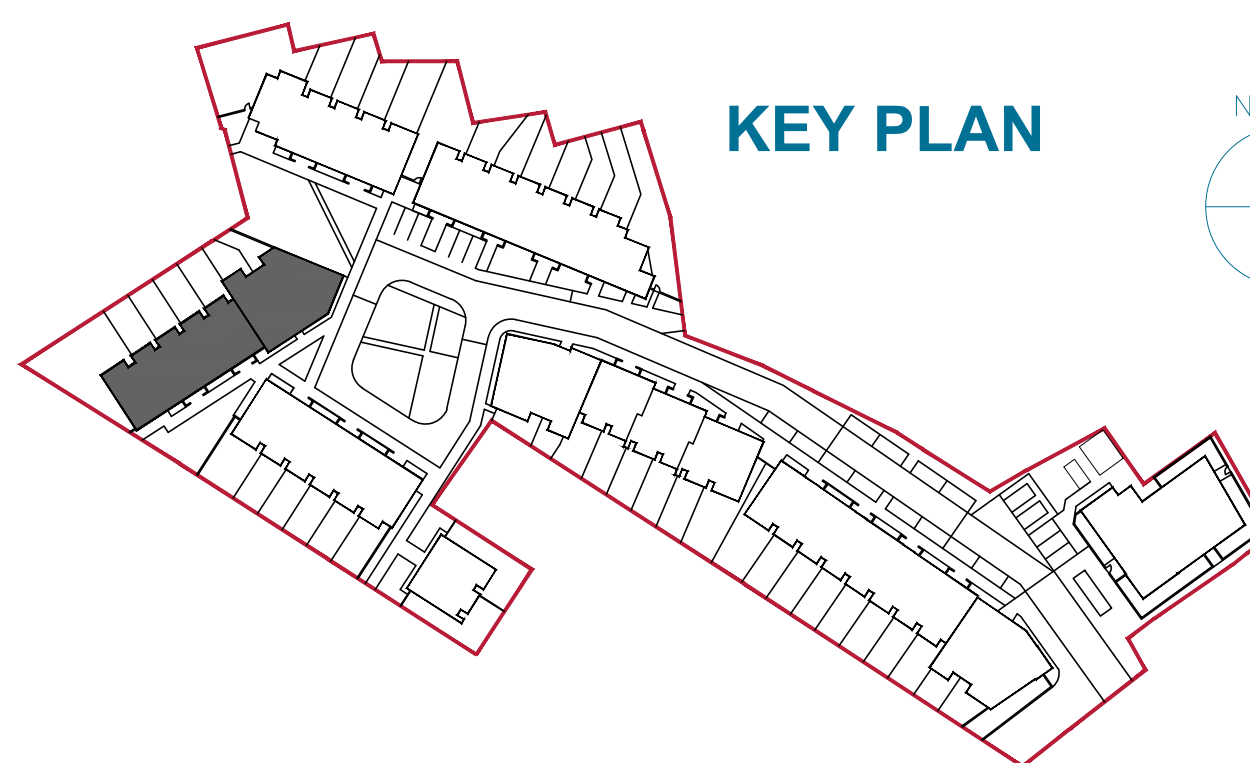


scale 1:100



scale 1:100

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
- 10 — ALUMINIUM GUTTERS BOX DOWNPIPES
- 11 — 150MM SMOOTH PLASTER PLINTH
- 12 — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE
- 16 — HOPPER TO ACCOMMODATE PARAPET DRAINAGE



NORTH

A circular compass rose with a vertical line for North and a horizontal line for East. The word "NORTH" is written above the vertical line. The word "EAST" is written to the right of the horizontal line. The word "WEST" is written to the left of the horizontal line. The word "SOUTH" is written below the vertical line.

**DEADY
GAHAN**



ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355030
Email: info@dgarchitects.ie

Project No.	Drq. No.	Revision
17147	17147/P/602	P3

<input type="checkbox"/> Information \ Comments	Tender <input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	Construction <input type="checkbox"/>



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK G

PROJECT NO.: 17147

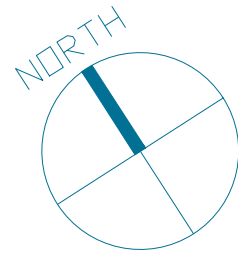
DRAWING NO.: 17147-SK-700

DATE: 02.06.20

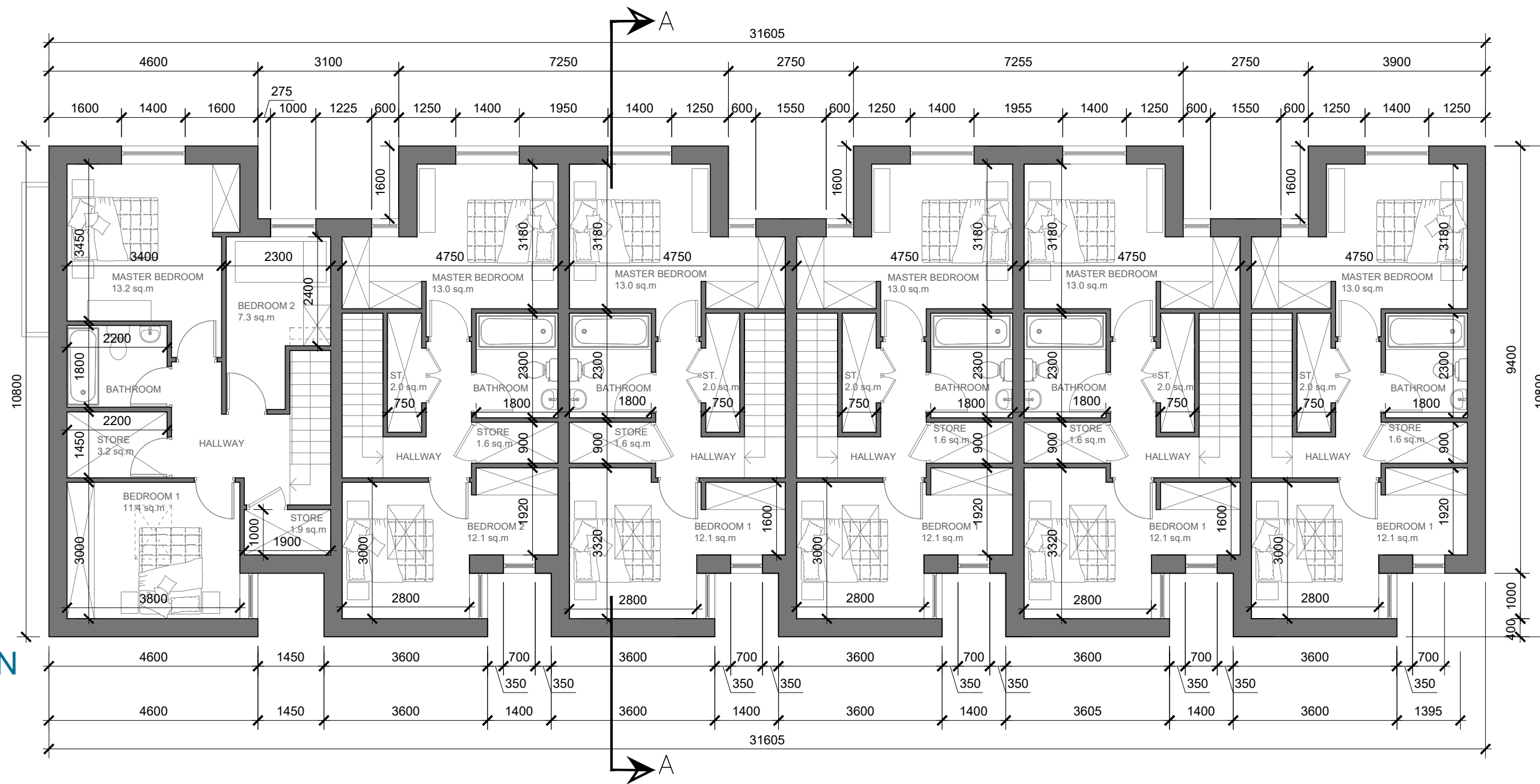
SCALE: NTS @ A3

DEADY
GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

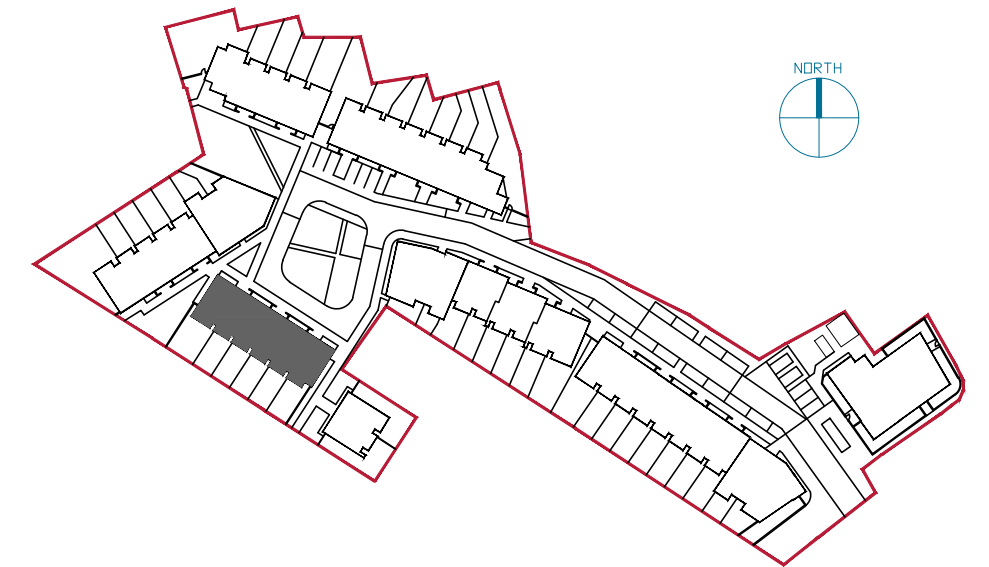


FIRST FLOOR PLAN
scale 1:100



DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

KEY PLAN



G1 - AREA: 105.5 sq.m.
1135.6 sq.ft.

G2 - AREA: 84.2 sq.m.
906.32 sq.ft.

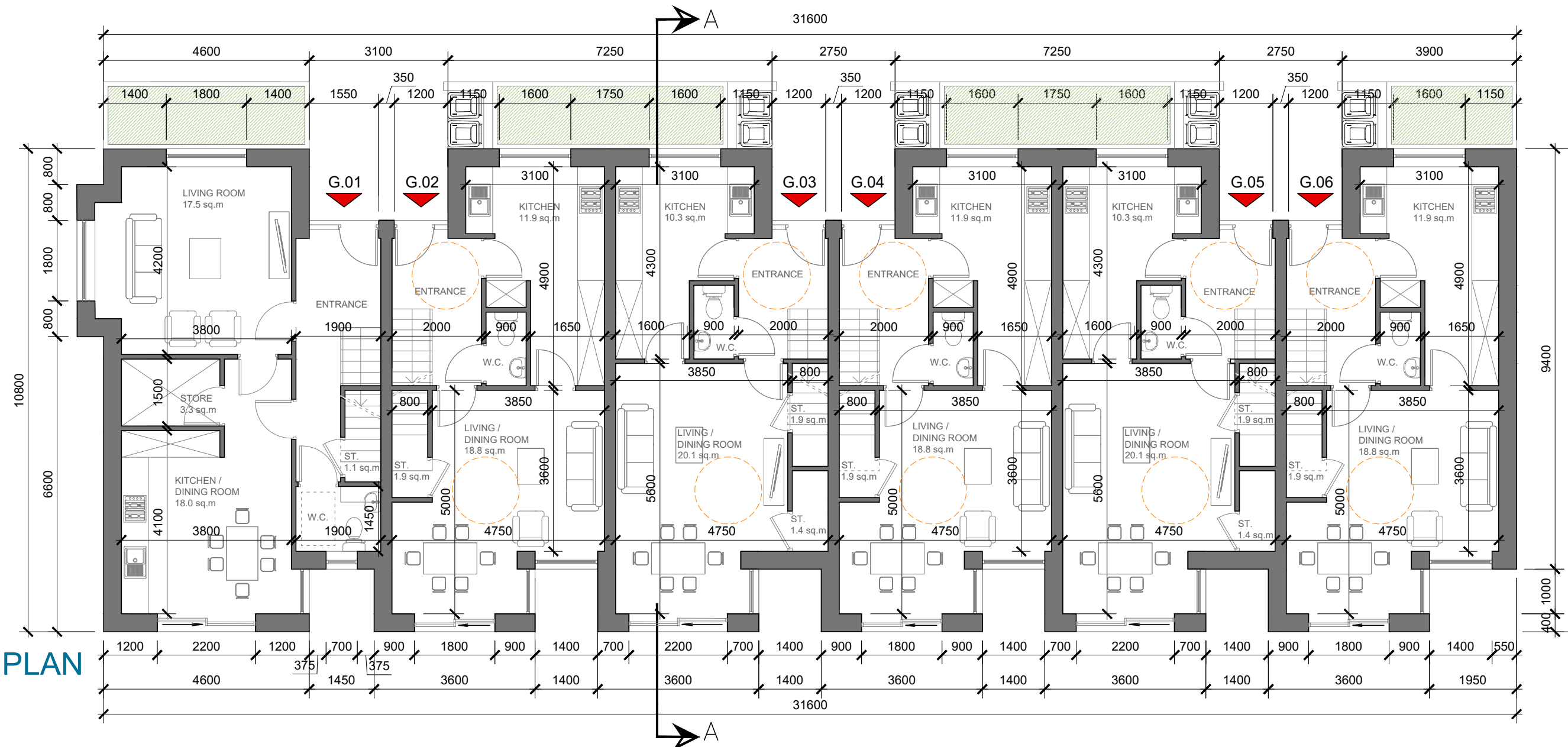
G3 - AREA: 84.2 sq.m.
906.32 sq.ft.

G4 - AREA: 84.2 sq.m.
906.32 sq.ft.

G5 - AREA: 84.2 sq.m.
906.32 sq.ft.

G6 - AREA: 84.2 sq.m.
906.32 sq.ft.

GROUND FLOOR PLAN
scale 1:100



date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY
GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK G
GROUND AND FIRST FLOOR PLANS

Scale 1:100 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/701	Revision P3	

<input type="checkbox"/> Information / Comments	Tender <input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	Construction <input type="checkbox"/>

NORTH ELEVATION
scale 1:100

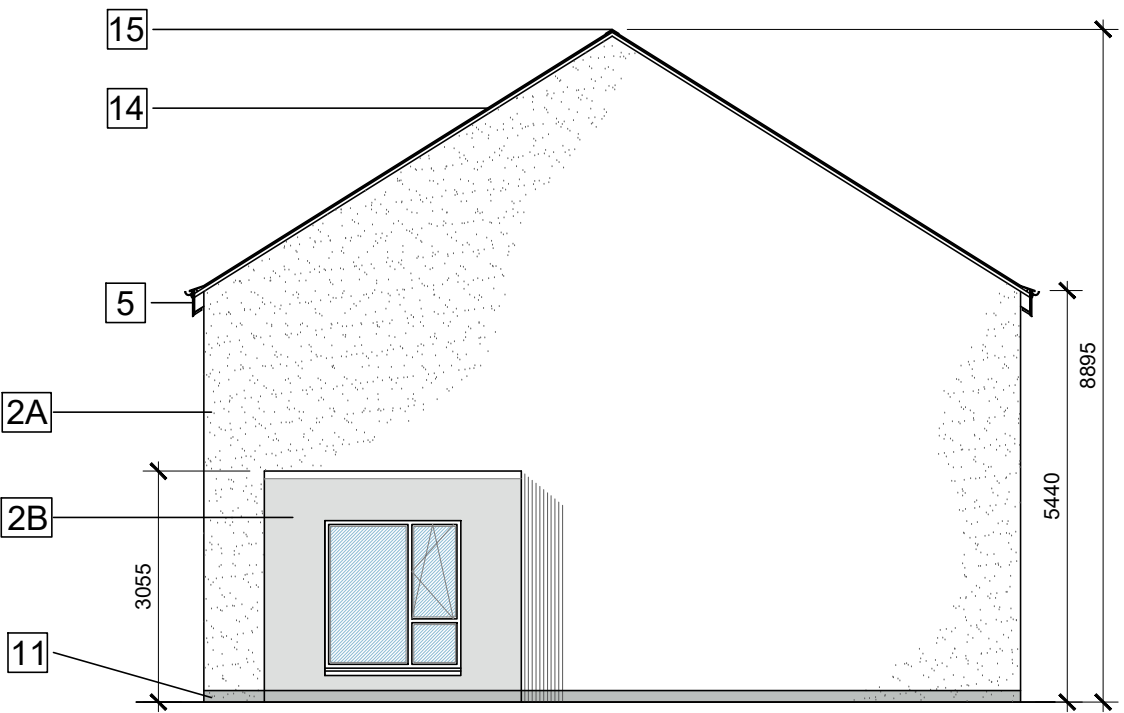
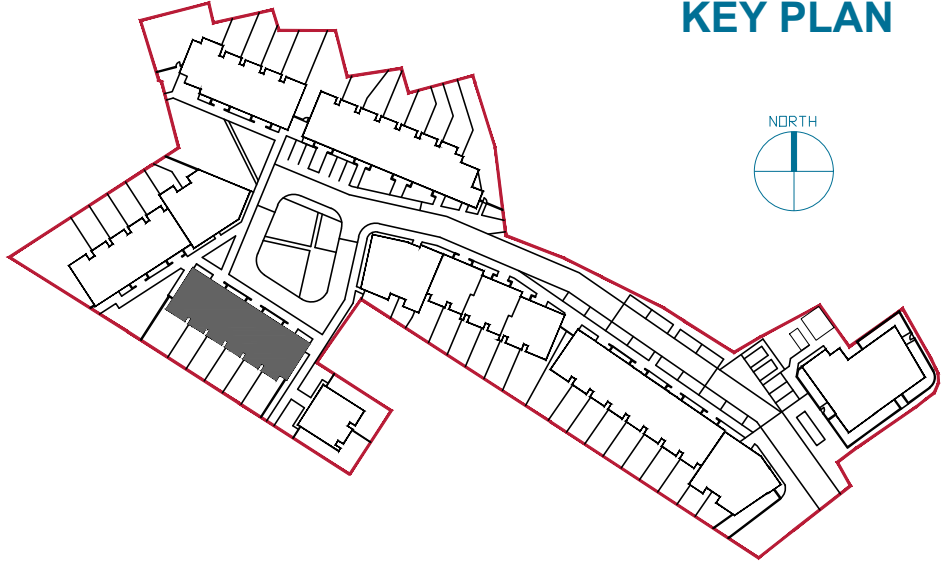


SOUTH ELEVATION
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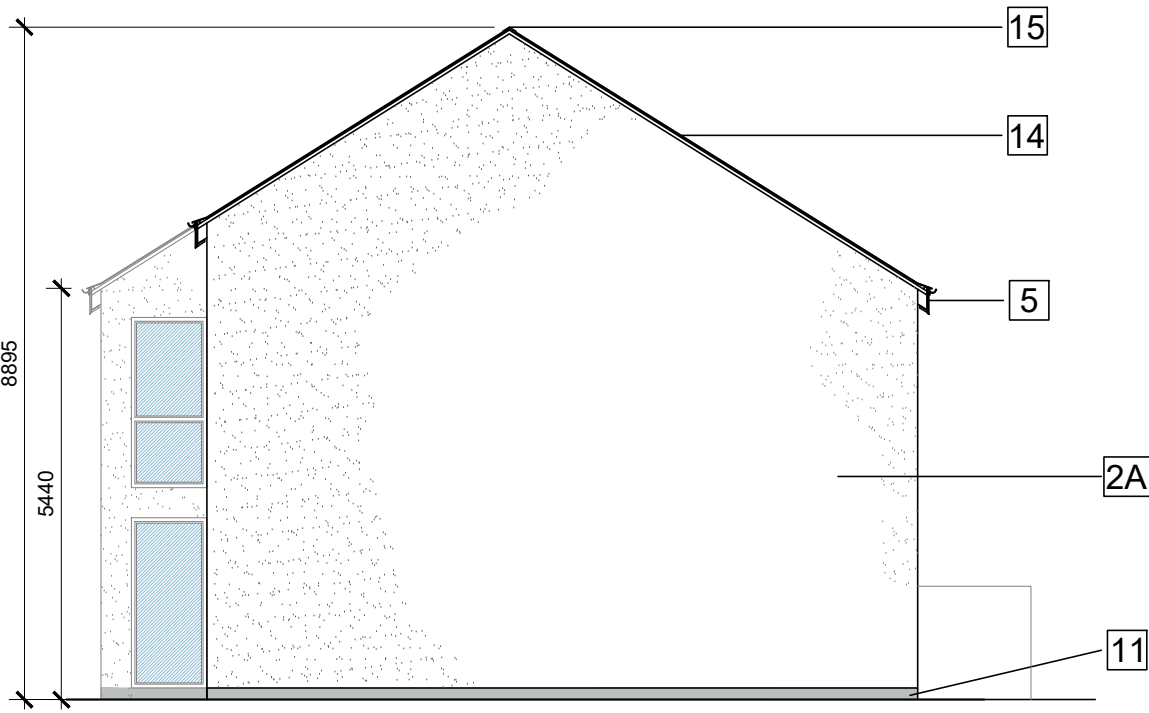


- DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5
- OUTLINE SPECIFICATION NOTES
- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
 - 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
 - 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
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 - 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
 - 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
 - 8 — CONCRETE POST AND TIMBER INFILL PANELS
 - 9 — uPVC TIMBER FRONT DOOR
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 - 11 — 150MM SMOOTH PLASTER PLINTH
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 - 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
 - 14 — BLACK SLATE FLAT TILE ON ROOF
 - 15 — BLACK RIDGE TILE

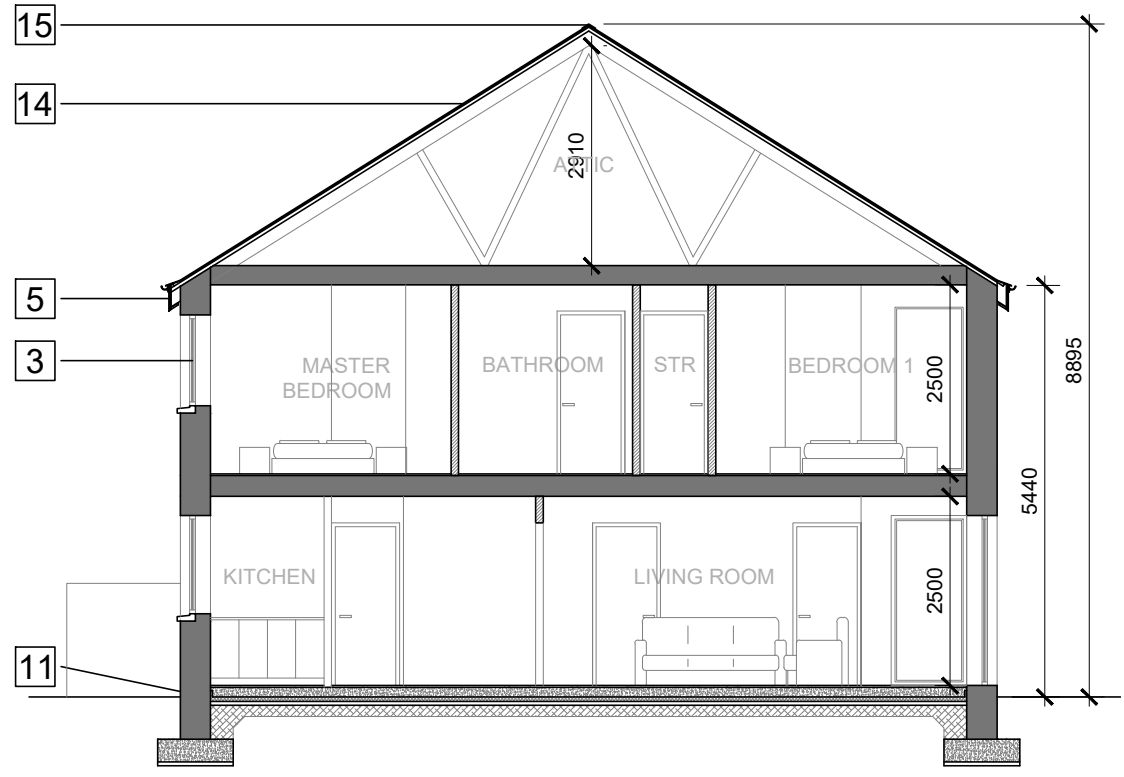
KEY PLAN



WEST ELEVATION
scale 1:100



EAST ELEVATION
scale 1:100



SECTION A-A
scale 1:100

date	rev	name	chk	note
02.06.20	P3	LM	EJG	ISSUE FOR PLANNING

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK G
GROUND AND FIRST FLOOR PLANS

Scale	Drawn	Checked	Date
1:100 @ A2	AV	EJG	2018.02.26

Project No.	Dwg. No.	Revision
17147	17147/P/702	P3

Information \ Comments	Tender
Planning	Construction



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK H

PROJECT NO.: 17147

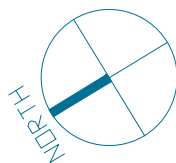
DRAWING NO.: 17147-SK-800

DATE: 02.06.20

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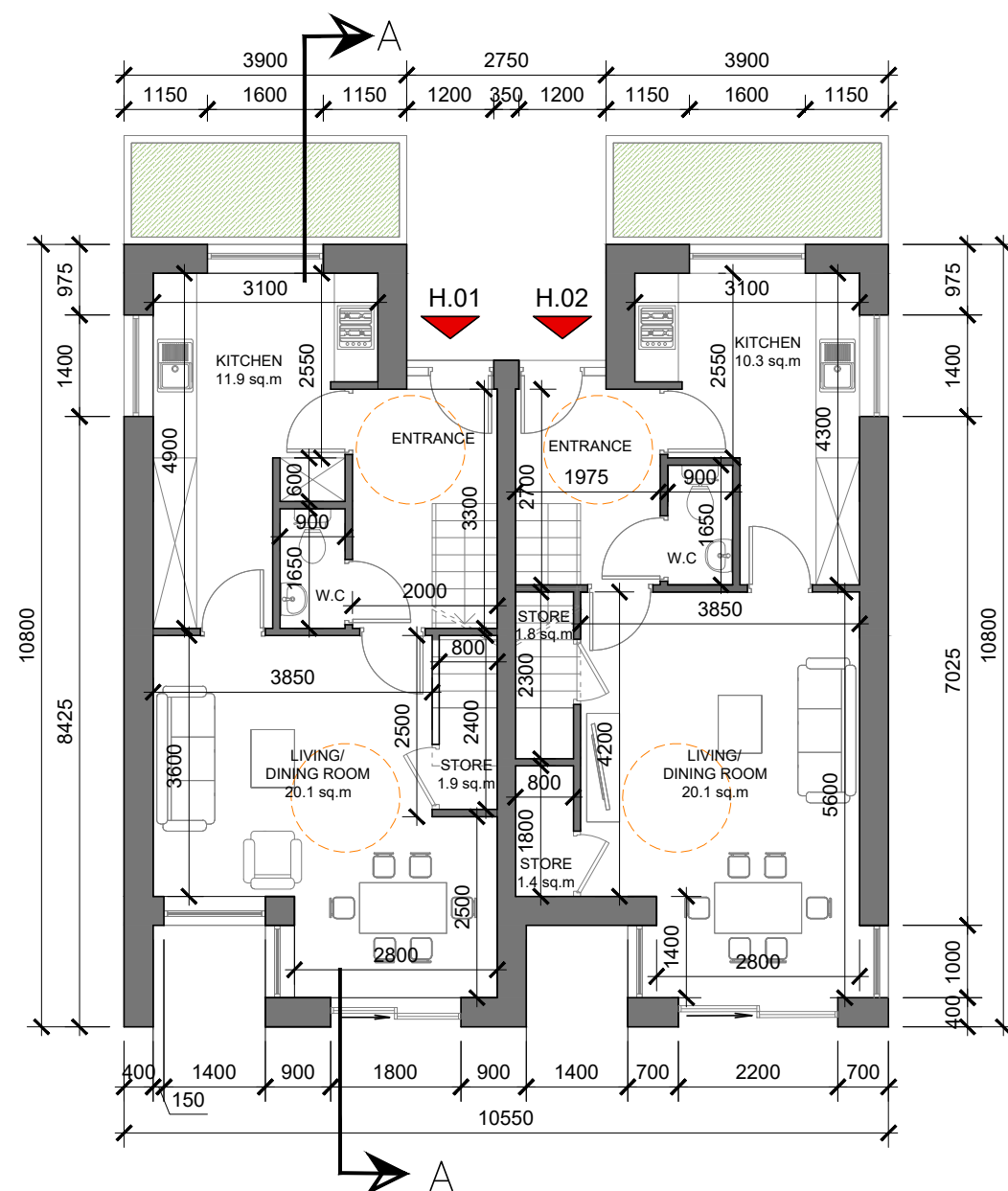
**DEADY
GAHAN** 
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

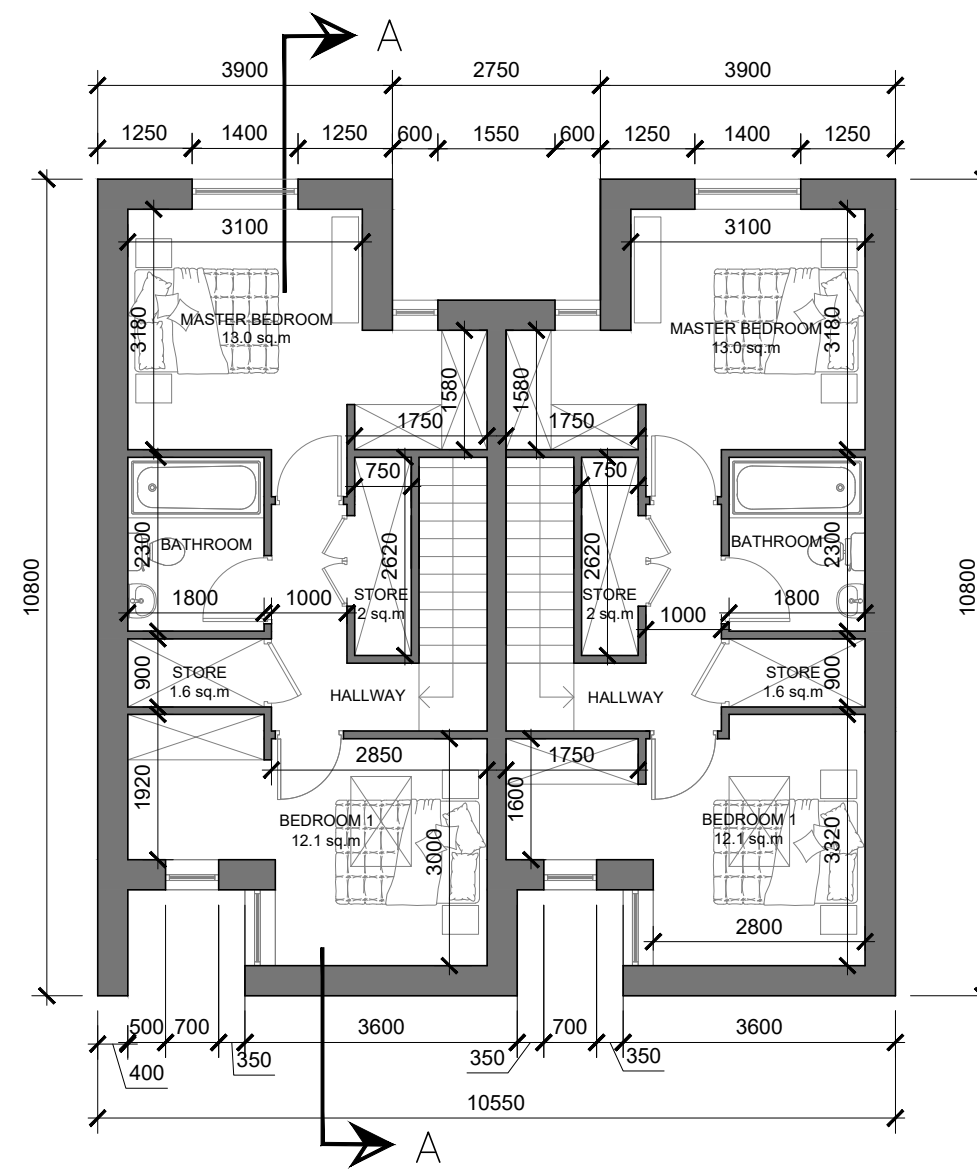


BLOCK H AREA:84.2SQ.M.
906 SQ.FT.

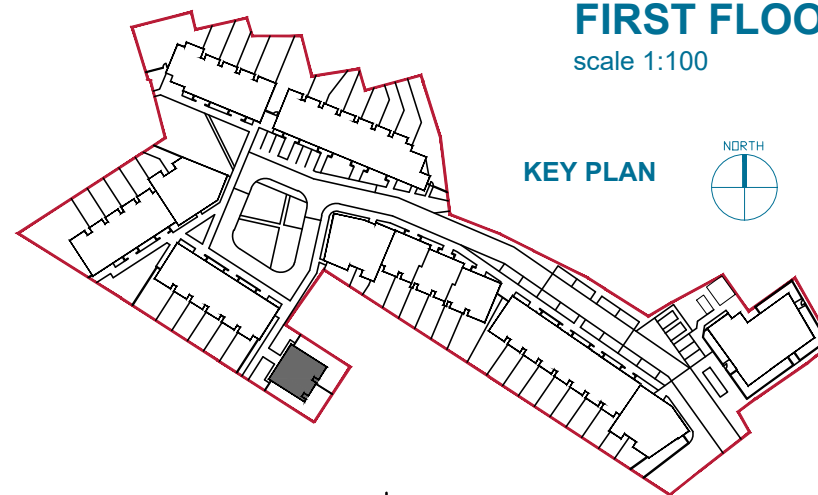
BLOCK H AREA:84.2SQ.M.
906 SQ.FT.



GROUND FLOOR PLAN
scale 1:100



FIRST FLOOR PLAN
scale 1:100



KEY PLAN



date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING

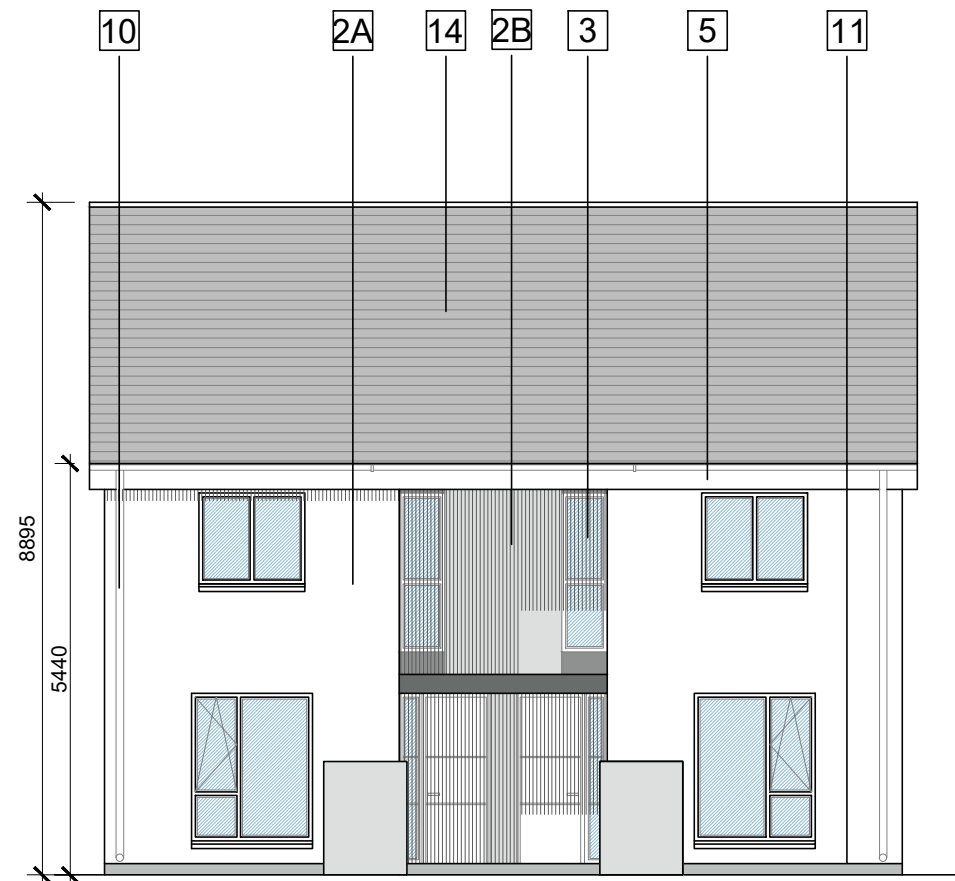
**DEADY
GAHAN**
ARCHITECTS

Estimate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

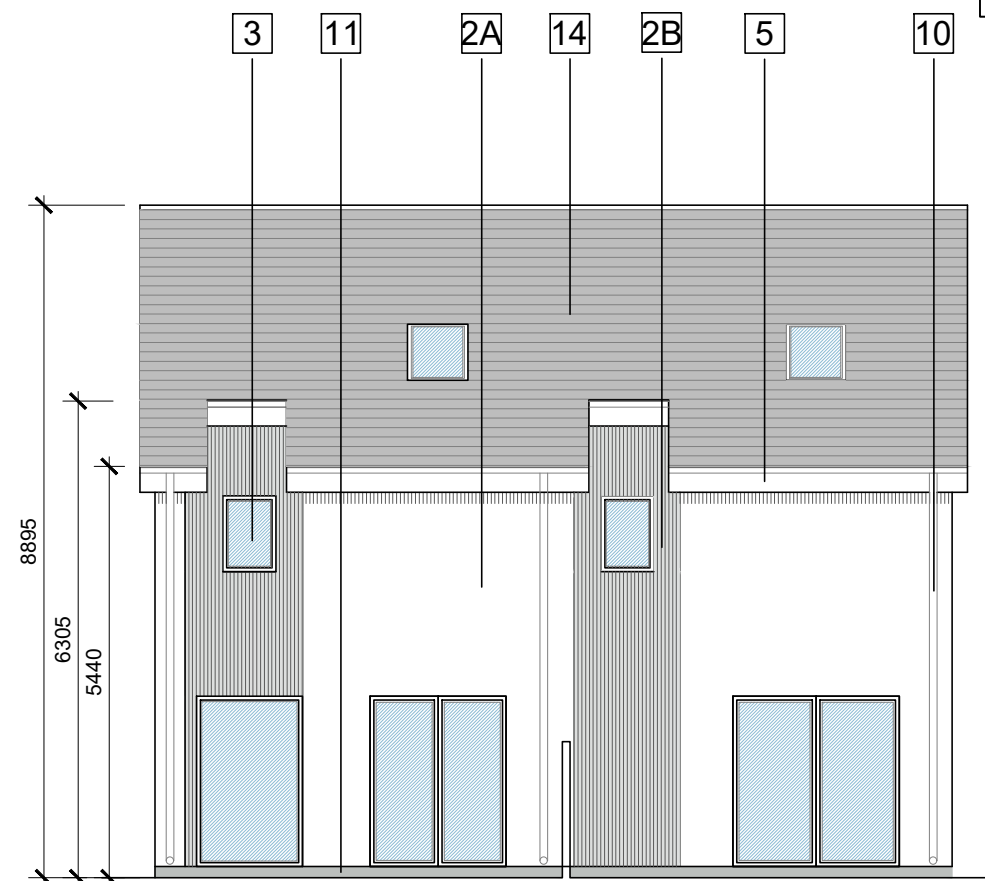
Drawing title
BLOCK H
GROUND FLOOR PLAN AND FIRST FLOOR PLAN

Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 19.02.2019
Project No. 17147	Dwg. No. 17147/P/801	Revision P3	
<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Planning	<input type="checkbox"/> Tender	<input type="checkbox"/> Construction



FRONT ELEVATION

scale 1:100

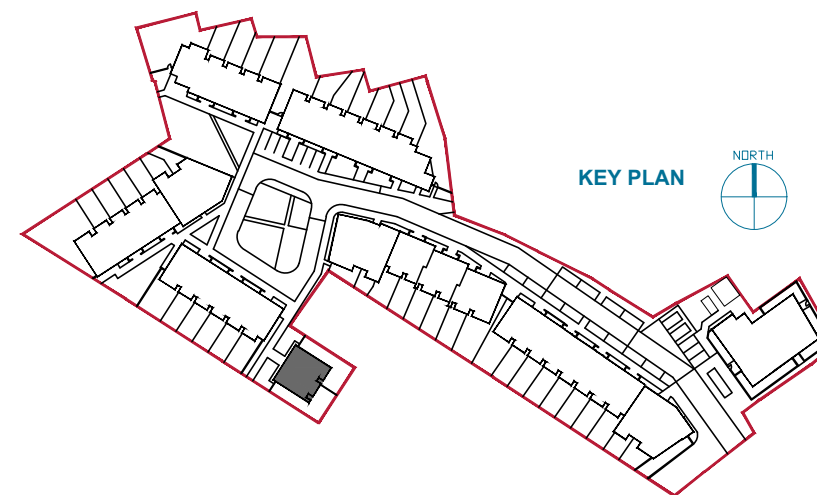


REAR ELEVATION

scale 1:100

OUTLINE SPECIFICATION NOTES

- 1— EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B— EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
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- 9— uPVC TIMBER FRONT DOOR
- 10— ALUMINIUM GUTTERS BOX DOWNPIPES
- 11— 150MM SMOOTH PLASTER PLINTH
- 12— LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13— VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14— BLACK SLATE FLAT TILE ON ROOF
- 15— BLACK RIDGE TILE



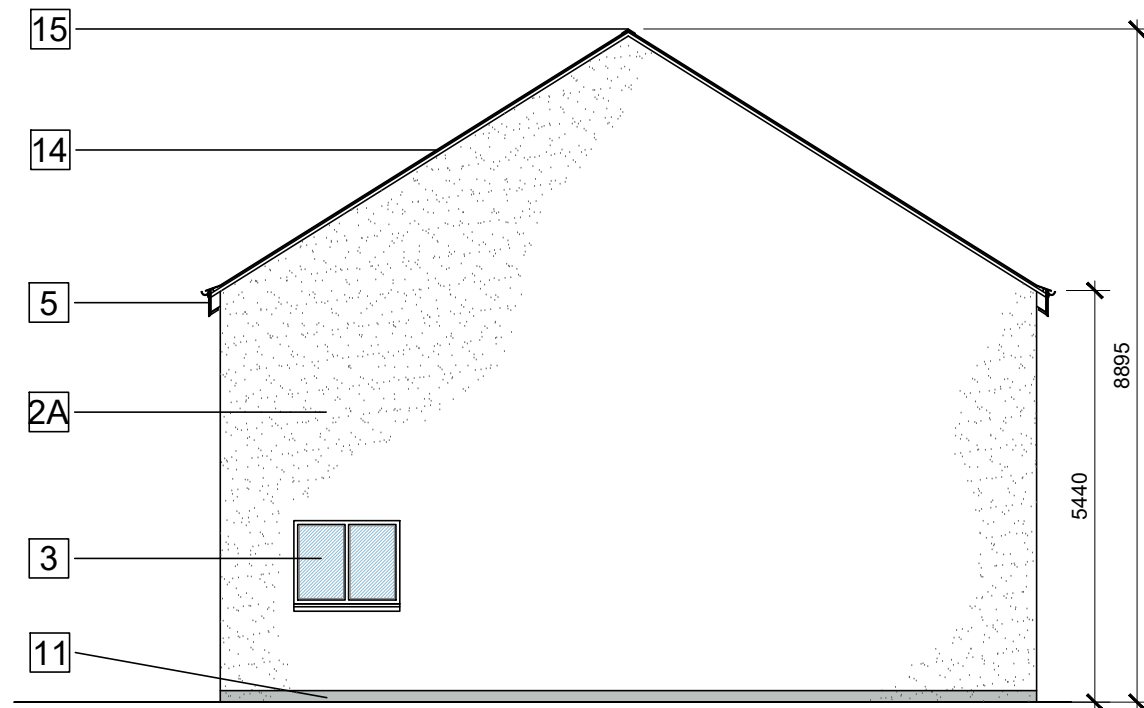
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING



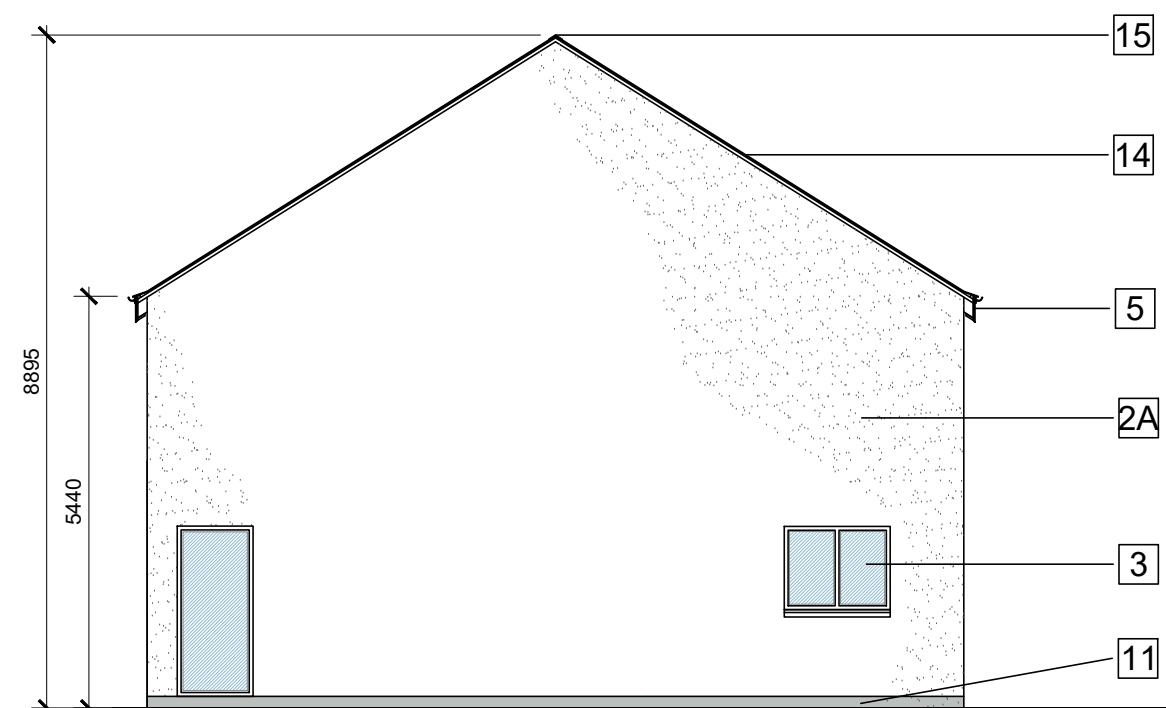
Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK H FRONT AND REAR ELEVATIONS			
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 19.02.2019
Project No. 17147	Drg. No. 17147/P/802		Revision P3
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<input checked="" type="checkbox"/> Planning			Construction <input type="checkbox"/>



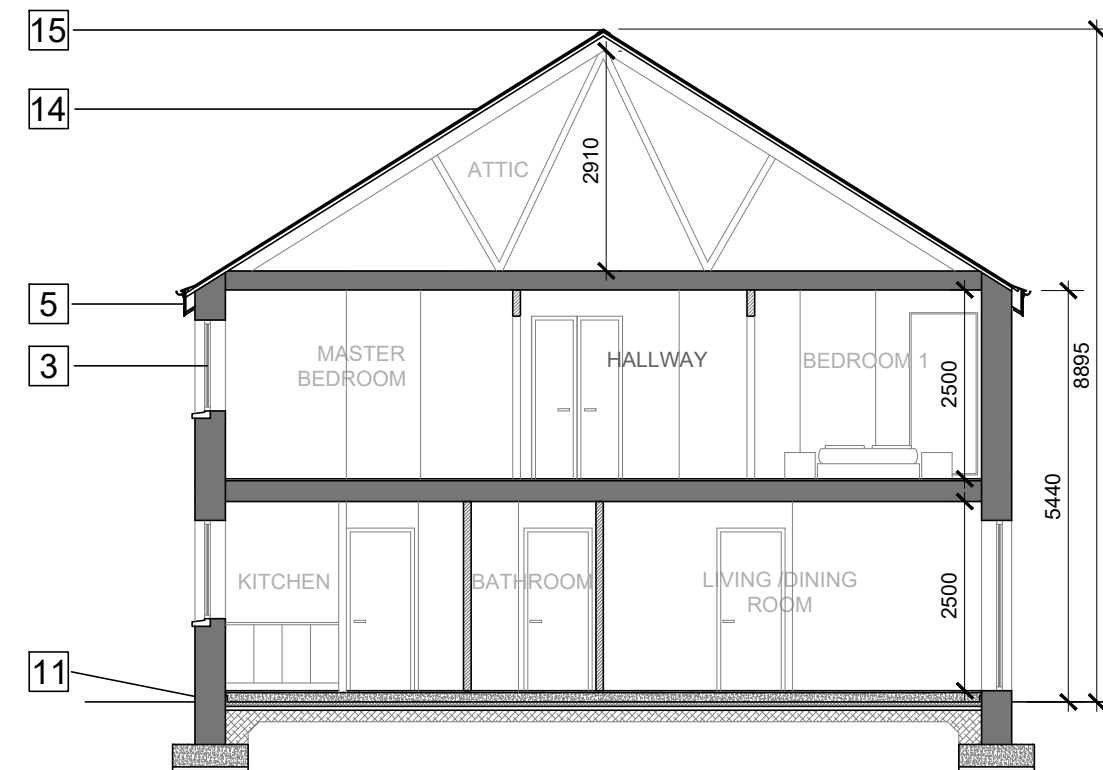
SIDE ELEVATION

scale 1:100



SIDE ELEVATION

scale 1:100



SECTION A-A

scale 1:100

OUTLINE SPECIFICATION NOTES

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
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- 9 — uPVC TIMBER FRONT DOOR
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- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE

date	rev	name	chk	note
02.08.20	P3	LM	EJG	ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title BLOCK H SIDE ELEVATIONS AND SECTION A-A			
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 19.02.2019
Project No. 17147	Drg. No. 17147/P/803		Revision P3
<input type="checkbox"/> Information \ Comments			Tender <input type="checkbox"/>
<input checked="" type="checkbox"/> Planning			Construction <input type="checkbox"/>

Residential Development at

Site at the junction of Hawke's Road and Bishopstown Road, Bishopstown Road, Cork

Planning Drawings

4995-5001	Drawing Index & Locality Plan
4995-5010	Proposed Road Layout & Levels & Turning Analysis
4995-5012	Proposed Sightlines Layout
4995-5015	Proposed Speed Control Measures
4995-5020	Proposed Storm & Foul Drainage Layout (1 of 2)
4995-5021	Proposed Storm & Foul Drainage Layout (2 of 2)
4995-5025	Proposed Waste Water Details (1 of 2)
4995-5026	Proposed Waste Water Details (2 of 2)
4995-5030	Proposed Watermain Layout
4995-5035	Proposed Watermain Details (1 of 2)
4995-5036	Proposed Watermain Details (2 of 2)
4995-5040	Proposed Storm Water Attenuation Tank
4995-5060	Proposed Foul Sewer Longitudinal Sections
4995-5070	Proposed Storm Sewer Longitudinal Sections

Drawing Index

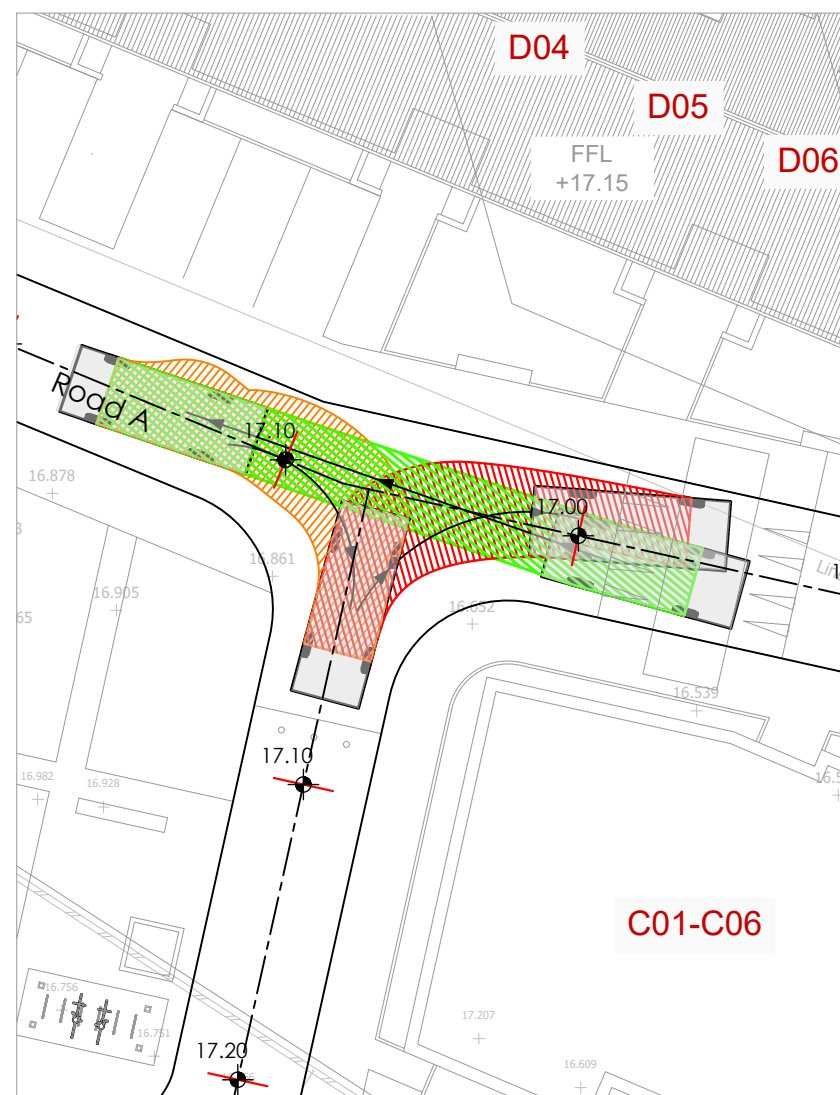


Locality Plan
Scale: N.T.S.

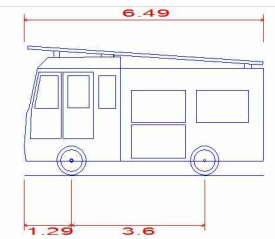
C	G.S	S.O.G.	C.O'S	02.06.20	Revised & Reissued for Planning	
REV.	DRAWN	CHKD	APPRVD	DATE	DETAILS	

CLIENT	OBR Construction Group.
PROJECT	Site at the junction of Hawke's Road and Bishopstown Road, Bishopstown Road, Cork

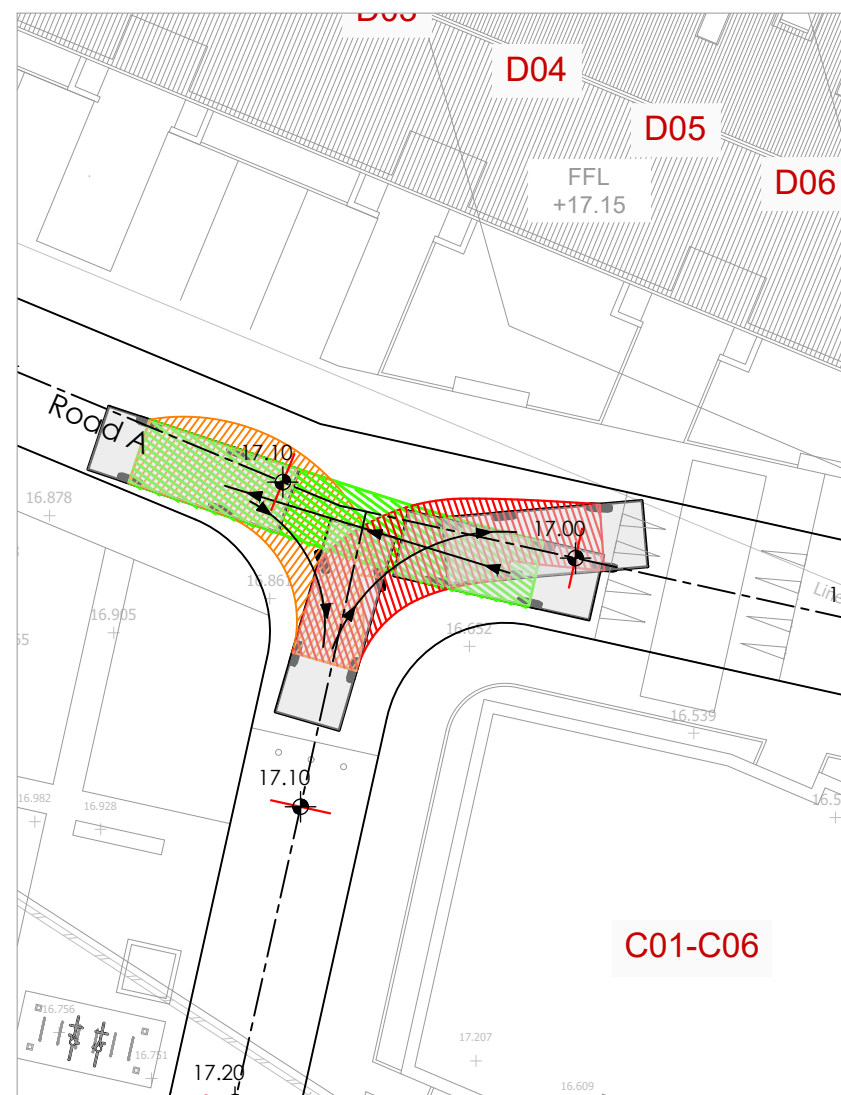
DRAWING TITLE	Drawing Index & Locality Plan
SHEET	A1
SCALE	1:500
PROJECT NO.	4995
DRAWING NO.	5001
STATUS/ISSUE	C



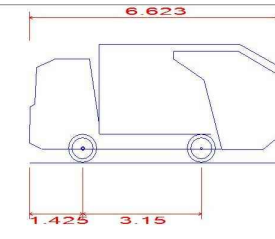
Fire Tender Turning Head Analysis
Scale : 1:250



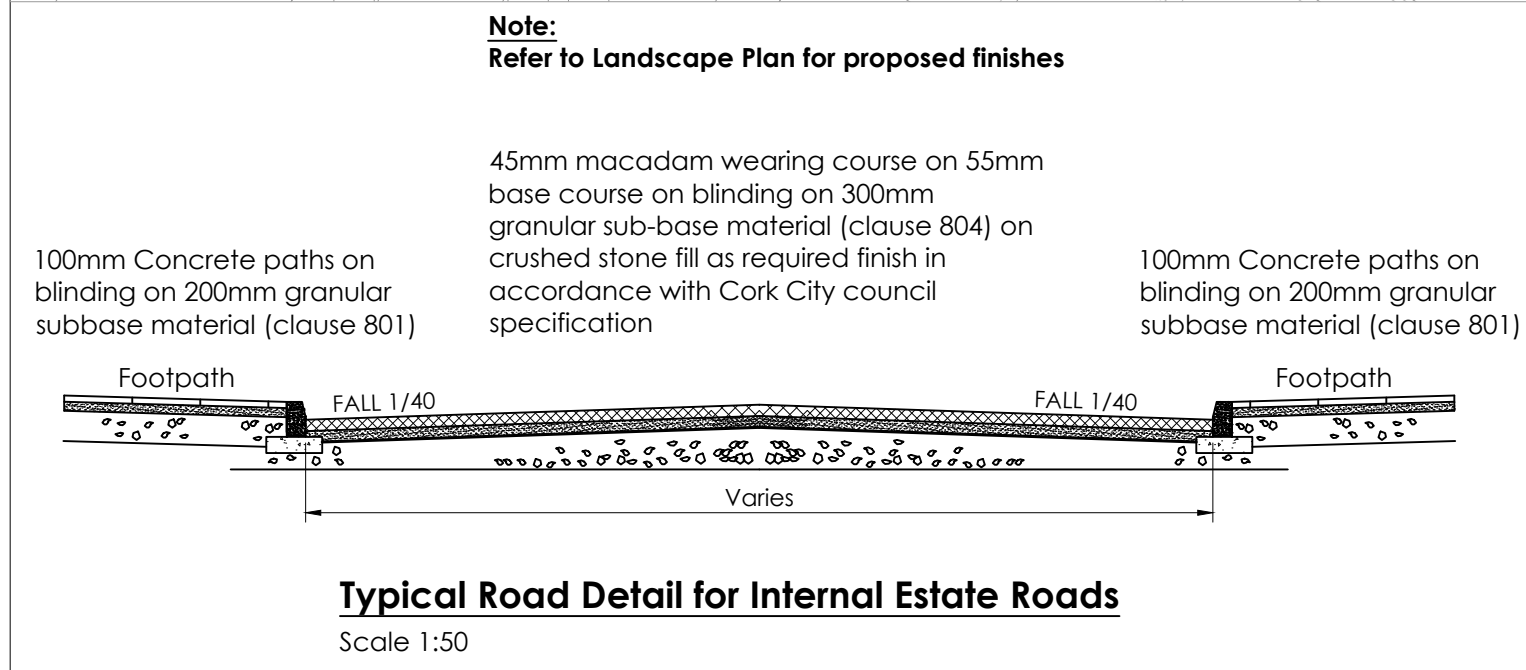
Dennis Rapier Fire Tender
Overall Length 6.490m
Overall Width 2.300m
Overall Body Height 3.498m
Min Body Ground Clearance 0.383m
Track Width 2.300m
Lock-to-lock time 5.00s
Curb to Curb Turning Radius 6.095m

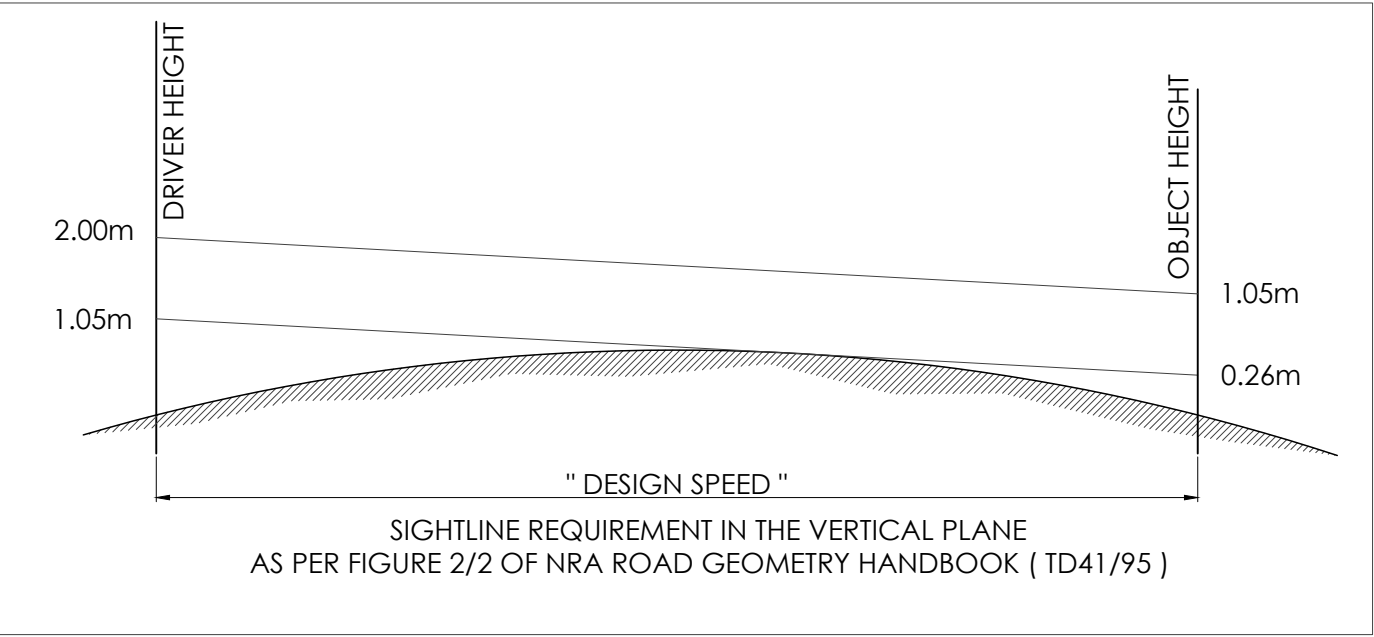
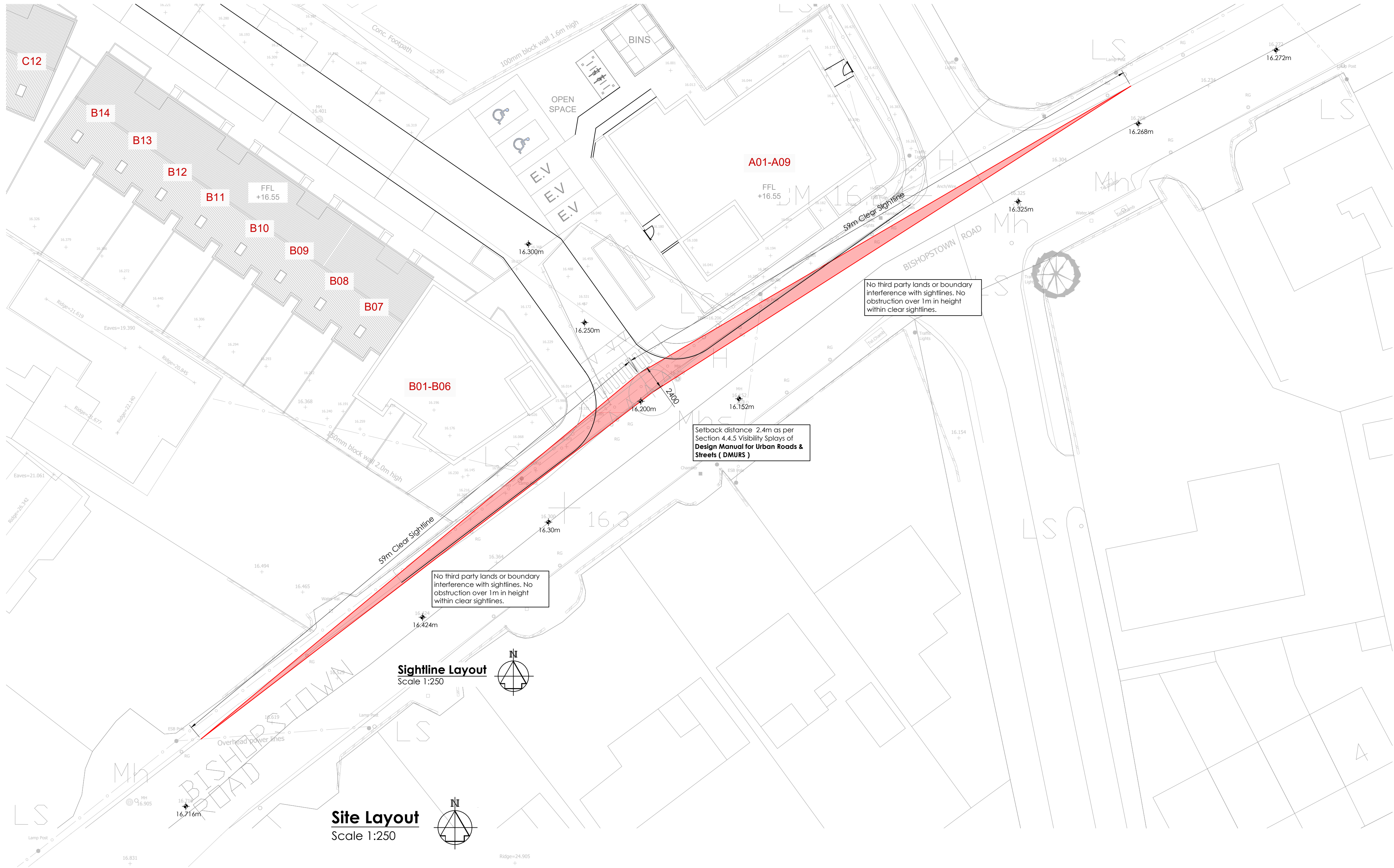


Refuse Truck Turning Head Analysis
Scale : 1:250



Refuse Vehicle
Overall Length 6.623m
Overall Width 2.200m
Overall Body Height 3.163m
Min Body Ground Clearance 0.358m
Track Width 2.200m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 6.750m





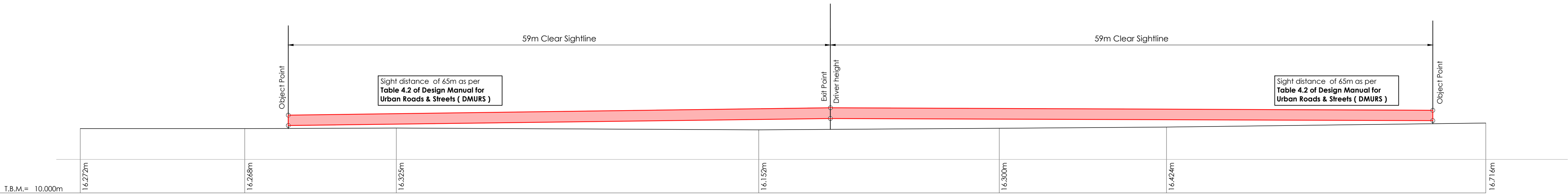
Setback distance: 2.4m as per Section 4.4.5 Visibility Splays of **Design Manual for Urban Roads & Streets (DMURS)**

Design speed (Km/h)	SSD Standard (Meters)
10 (Km/h)	7m
20 (Km/h)	14m
30 (Km/h)	23m
40 (Km/h)	33m
50 (Km/h)	45m
60 (Km/h)	59m

Table 4.2 of Design Manual for Urban Roads & Streets (DMURS)

Sightline Layout
Scale 1:250

Site Layout
Scale 1:250

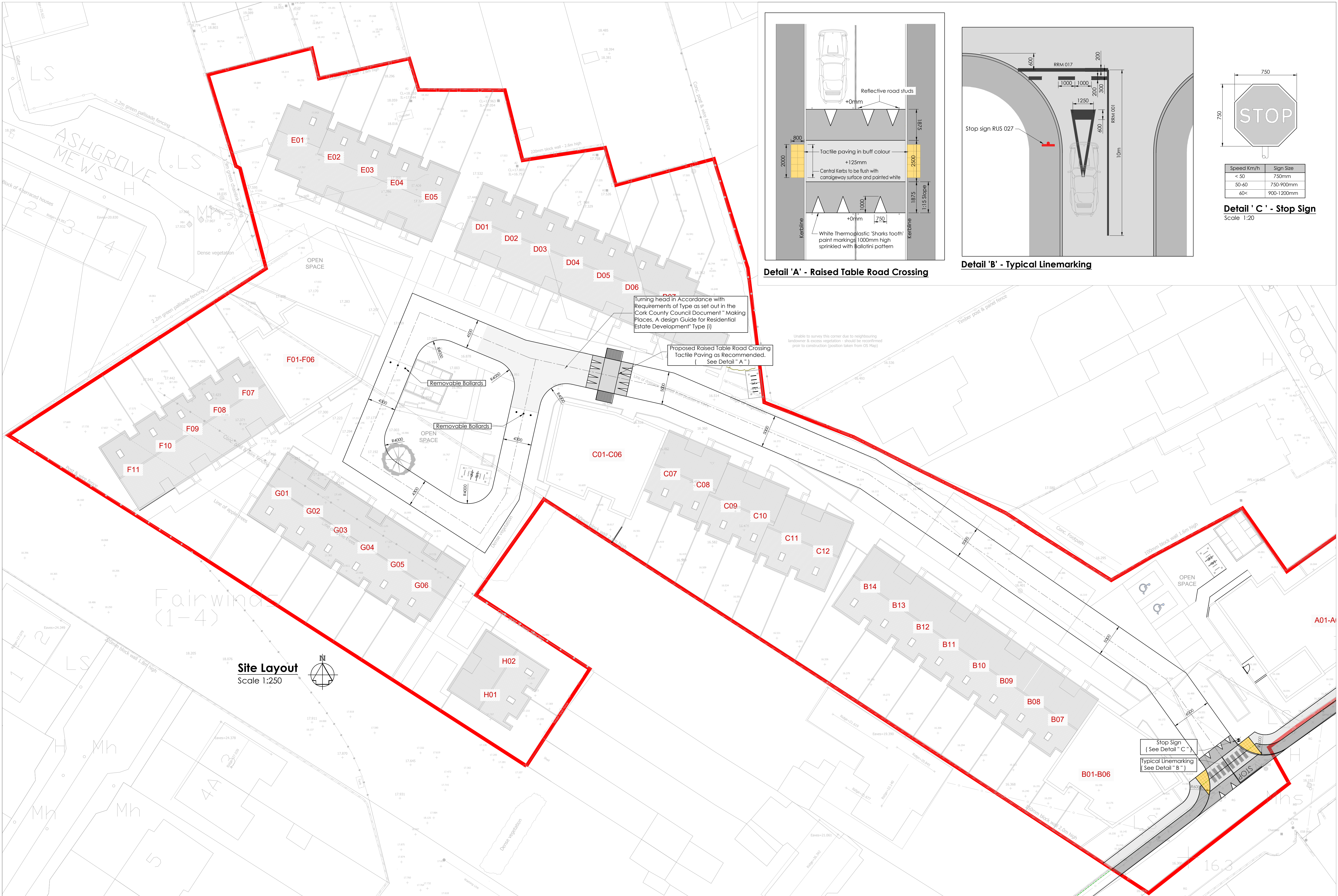


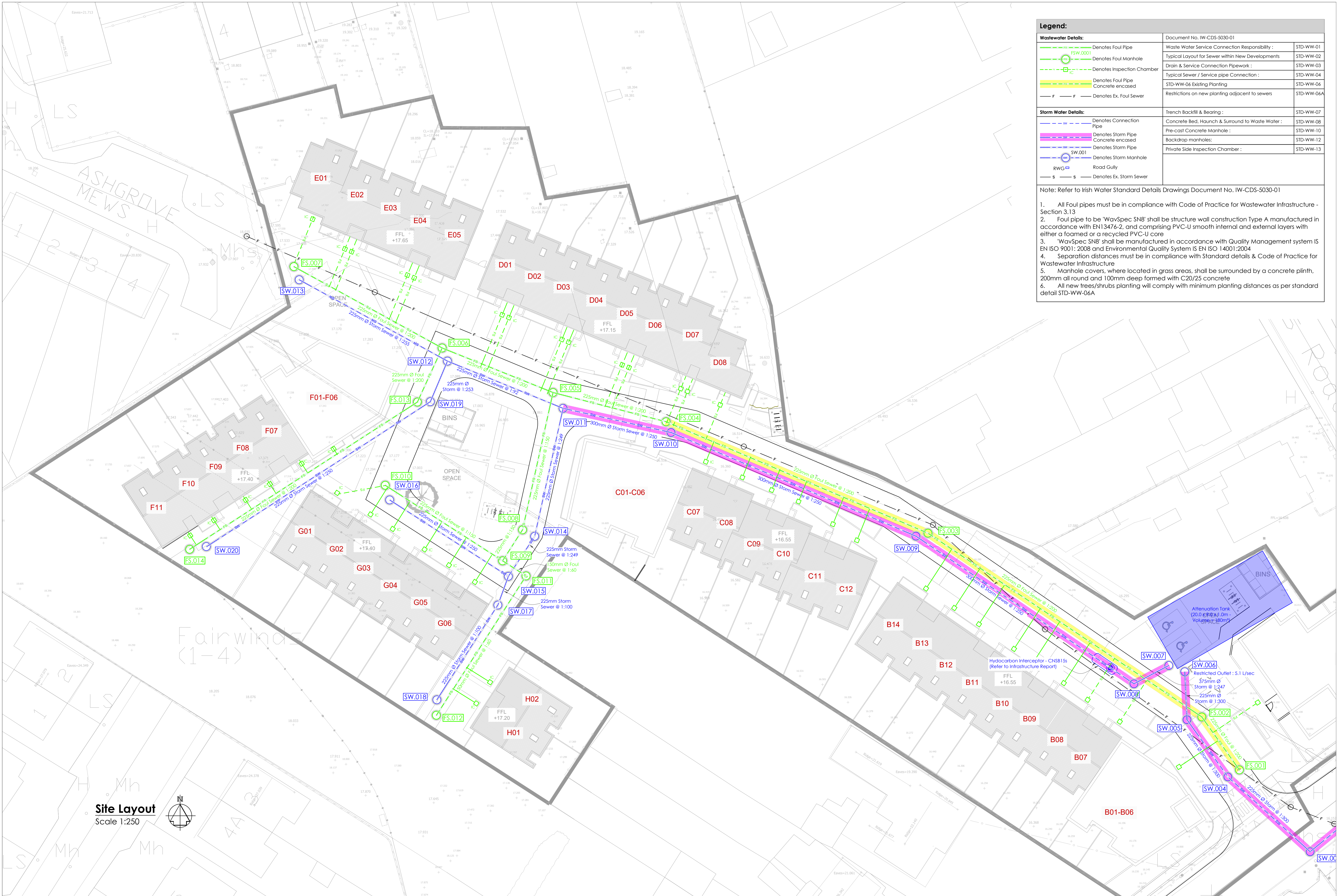
Sightline Elevation - Proposed Vertical Alignment
Scale 1:250

E	G.S	S.O'G.	C.O'S	02.06.20	Revised & Reissued for Planning	
REV.	DRAWN	CHKD	APPRVD	DATE	DETAILS	

CLIENT		OBR Construction Group.	
PROJECT		Site at the junction of Hawke's Road and Bishopstown Road, Bishopstown Road, Cork	

DRAWING TITLE				Proposed Sightline Layout			
SHEET		SCALE		PROJECT NO.		DRAWING NO.	
A1		1:250		4995		0012	
						STATUS/ISSUE	
						E	





Legend:

Wastewater Details:

- Denotes Foul Pipe
- Denotes Foul Manhole
- Denotes Inspection Chamber
- Denotes Foul Pipe Concrete encased
- Denotes Ex. Foul Sewer

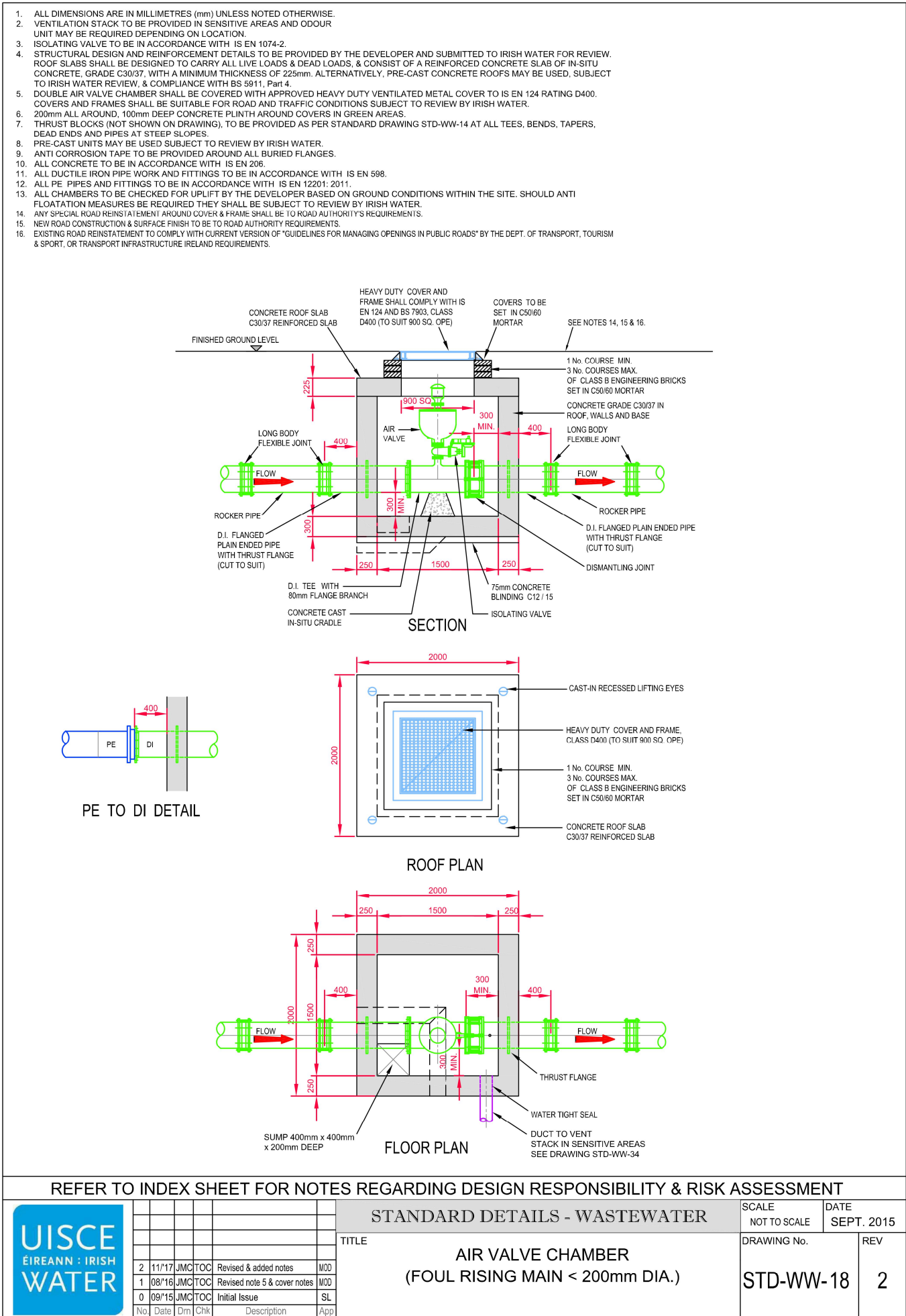
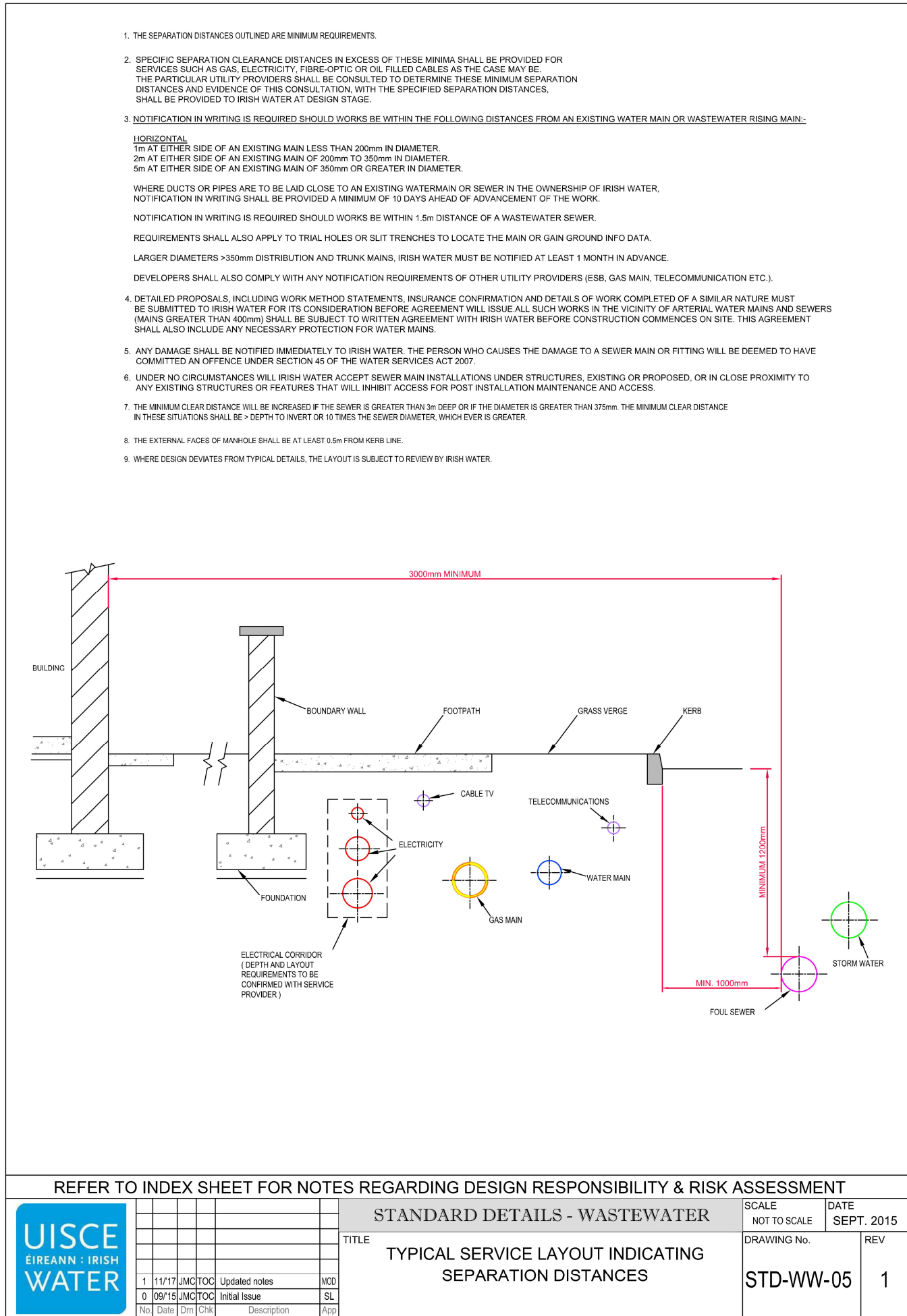
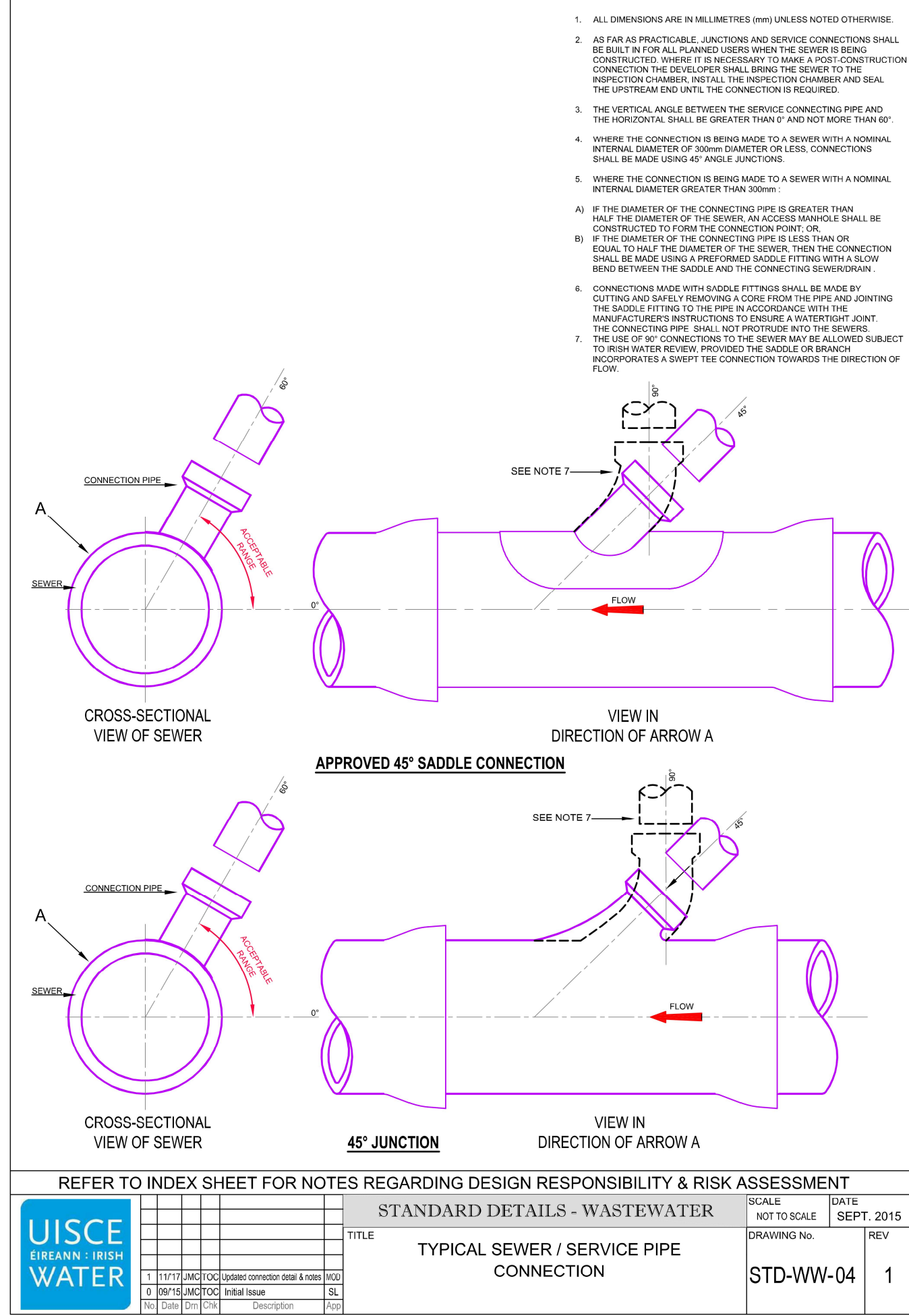
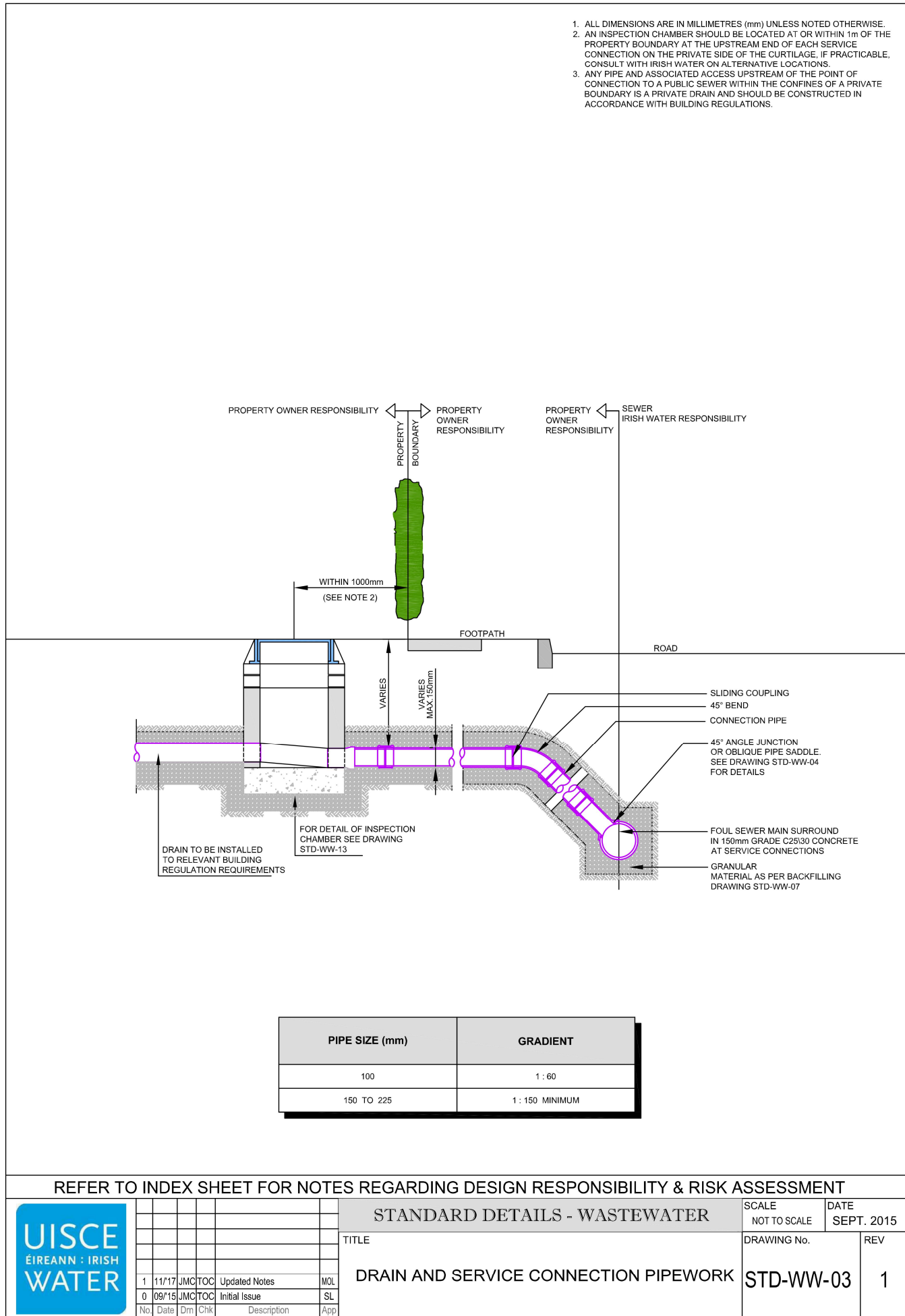
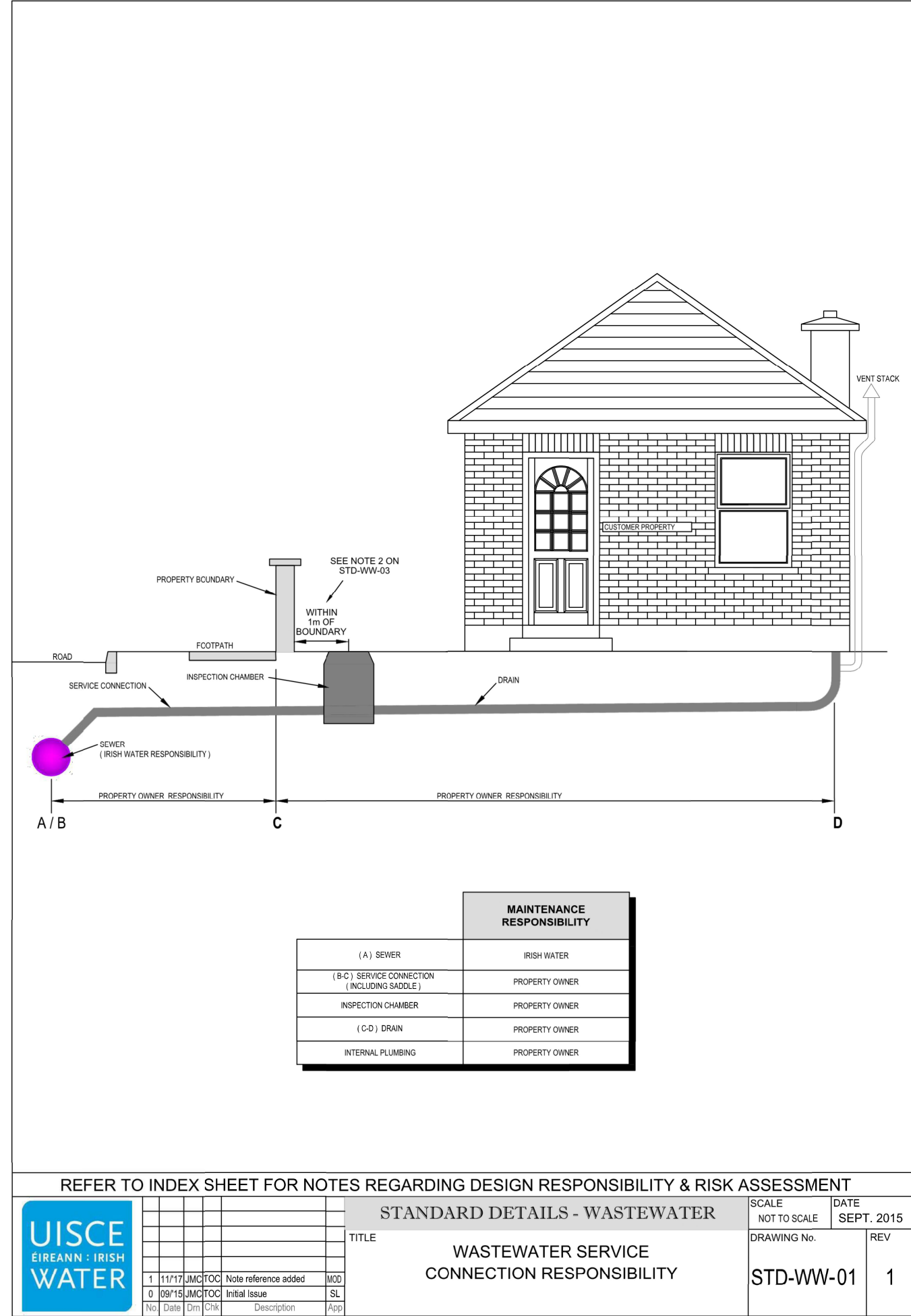
Storm Water Details:

- Denotes Connection Pipe
- Denotes Storm Pipe Concrete encased
- Denotes Storm Pipe
- Denotes Storm Manhole
- Road Gully
- Denotes Ex. Storm Sewer

Document No. IW-CDS-5030-01	
Waste Water Service Connection Responsibility :	STD-WW-01
Typical Layout for Sewer within New Developments	STD-WW-02
Drain & Service Connection Pipework :	STD-WW-03
Typical Sewer / Service pipe Connection :	STD-WW-04
STD-WW-06 Existing Planting	STD-WW-06
Restrictions on new planting adjacent to sewers	STD-WW-06A
Trench Backfill & Bearing :	
Concrete Bed, Haunch & Surround to Waste Water :	
Pre-cast Concrete Manhole :	
Backdrop manholes:	
Private Side Inspection Chamber :	

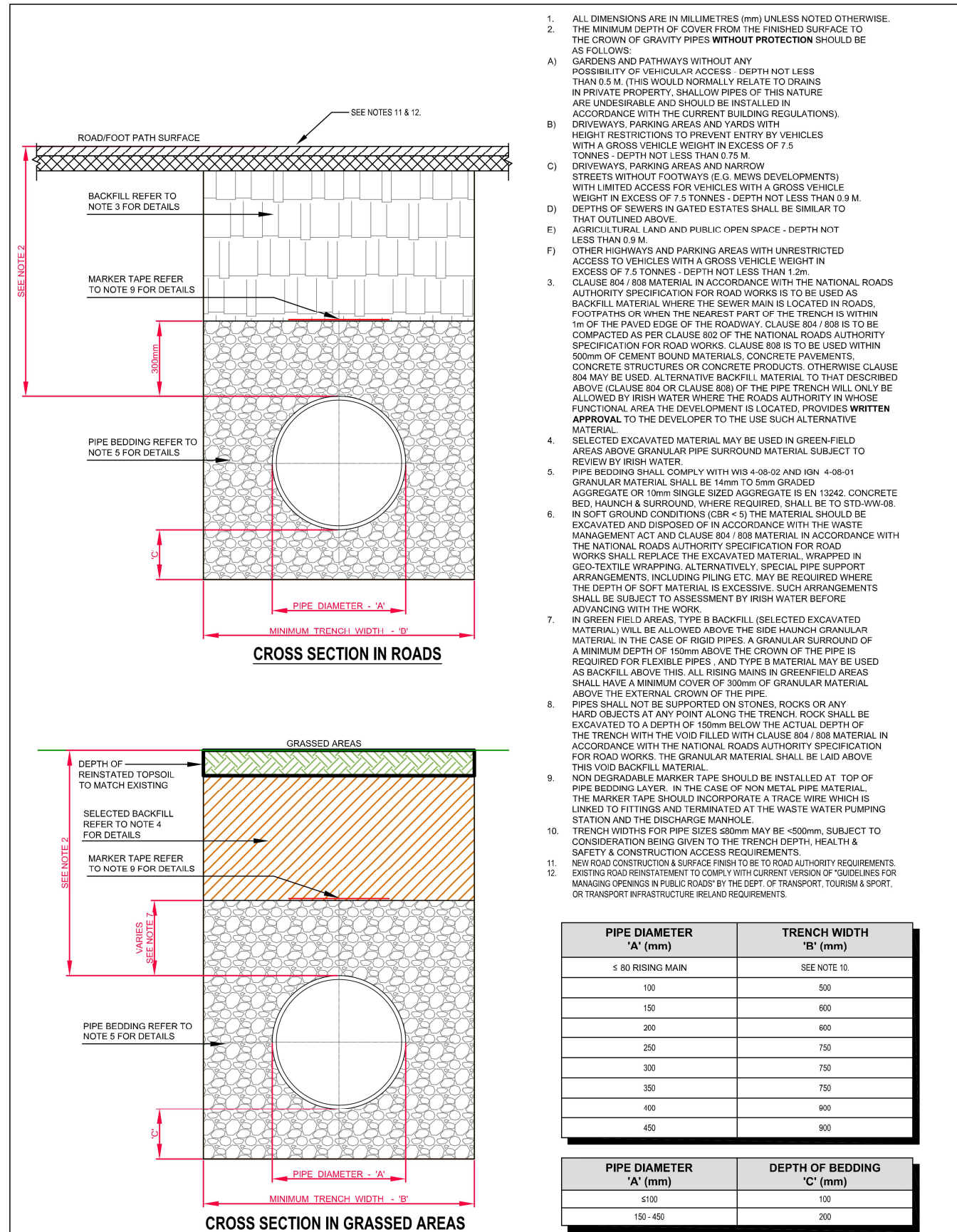
Note: Refer to Irish Water Standard Details Drawings Document No. IW-CDS-5030-01

- All Foul pipes must be in compliance with Code of Practice for Wastewater Infrastructure - Section 3.13
- Foul pipe to be 'WavSpec SN8' shall be structure wall construction Type A manufactured in accordance with EN13476-2, and comprising PVC-U smooth internal and external layers with either a foamed or a recycled PVC-U core
- 'WavSpec SN8' shall be manufactured in accordance with Quality Management system IS EN ISO 9001:2008 and Environmental Quality System IS EN ISO 14001:2004
- Separation distances must be in compliance with Standard details & Code of Practice for Wastewater Infrastructure
- Manhole covers, where located in grass areas, shall be surrounded by a concrete plinth, 200mm all round and 100mm deep formed with C20/25 concrete
- All new trees/shrubs planting will comply with minimum planting distances as per standard detail STD-WW-06A

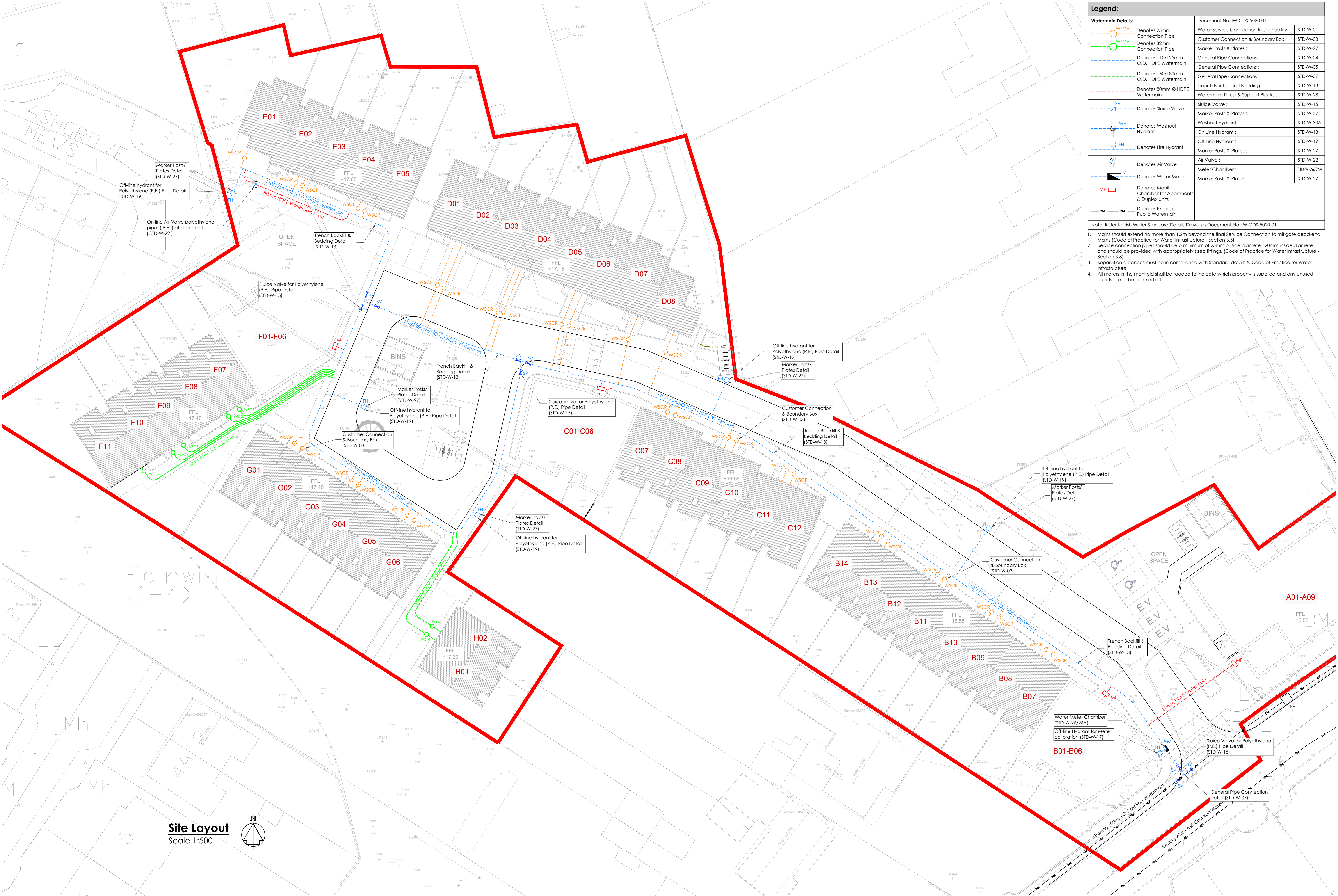


STD-WW-01 Waste water service connection responsibility
STD-WW-03 Drain & Service connection pipework
STD-WW-04 Typical Sewer/ Service pipe connection
STD-WW-05 Typical Service layout indicating separation distances
STD-WW-18 Air valve chamber (Foul rising main <200mmØ)

Refer to dwg no. 4995-5020/21 for plan layout



REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
			STANDARD DETAILS - WASTEWATER	SCALE NOT TO SCALE	DATE SEPT. 2015
			TITLE	DRAWING No.	REV
			TRENCH BACKFILL AND BEDDING	STD-WW-07	1
	1. 11/17/JACTOC	Updated & Added Notes	MO		
	2. 10/16/JACTOC	Initial Issue	SL		
	3. 09/15/JACTOC	Initial Issue	SL		
	4. 08/14/JACTOC	Initial Issue	SL		
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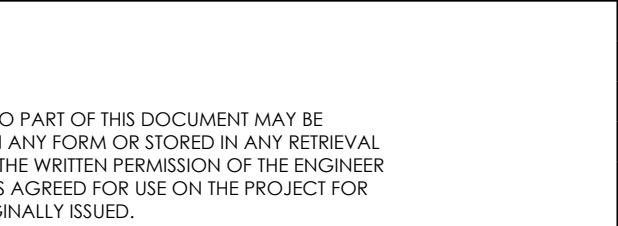
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Watermain Details:			Water Service Connection Responsibility : STD-W-01
	Denotes 25mm Connection Pipe	Customer Connection & Boundary Box :	STD-W-03
	Denotes 32mm Connection Pipe	Marker Posts & Plates :	STD-W-27
	Denotes 110/125mm O.D. HDPE Watermain	General Pipe Connections :	STD-W-04
	Denotes 160/180mm O.D. HDPE Watermain	General Pipe Connections :	STD-W-05
	Denotes 80mm Ø HDPE Watermain	General Pipe Connections :	STD-W-07
		Trench Backfill and Bedding :	STD-W-13
		Watermain Thrust & Support Blocks :	STD-W-28
	Denotes Sluice Valve	Sluice Valve :	STD-W-15
		Marker Posts & Plates :	STD-W-27
	Denotes Washout Hydrant	Washout Hydrant :	STD-W-30A
	Denotes Fire Hydrant	On Line Hydrant :	STD-W-18
		Off Line Hydrant :	STD-W-19
	Denotes Air Valve	Marker Posts & Plates :	STD-W-27
		Air Valve :	STD-W-22
	Denotes Water Meter	Meter Chamber :	STD-W-26/26A
		Marker Posts & Plates :	STD-W-27
	Denotes Manifold Chamber for Apartments & Duplex Units		
	Denotes Existing Public Watermain		

- Note: Refer to Irish Water Standard Details Drawings Document No. IW-CDS-5020-01
1. Mains should extend no more than 1.2m beyond the final Service Connection to mitigate dead-end Mains (Code of Practice for Water Infrastructure - Section 3.5)
 2. Service connection pipes should be a minimum of 25mm outside diameter, 20mm inside diameter, and should be provided with appropriately sized fittings. (Code of Practice for Water Infrastructure - Section 3.8)
 3. Separation distances must be in compliance with Standard details & Code of Practice for Water Infrastructure
 4. All meters in the manifold shall be tagged to indicate which property is supplied and any unused outlets are to be blanked off.



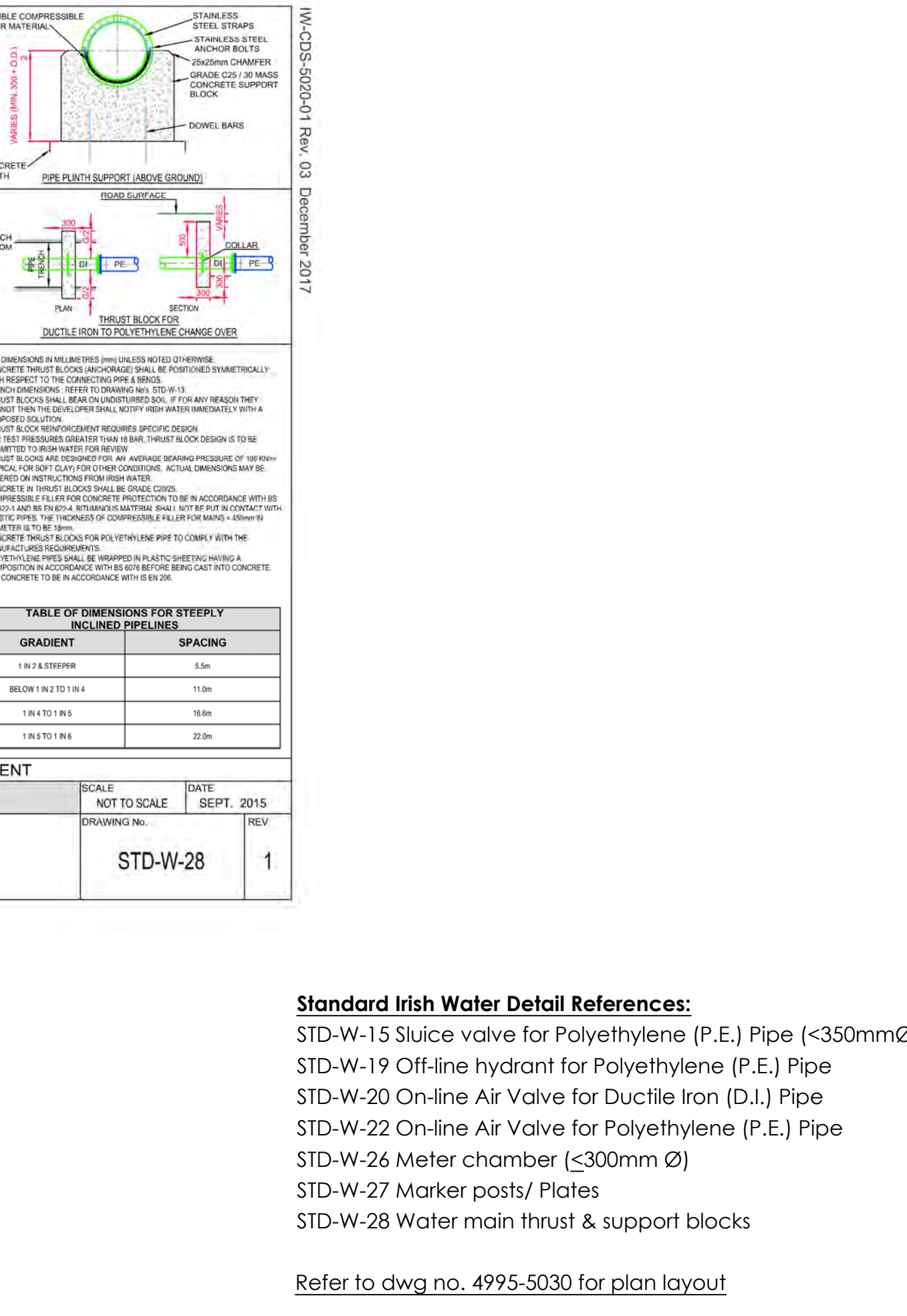
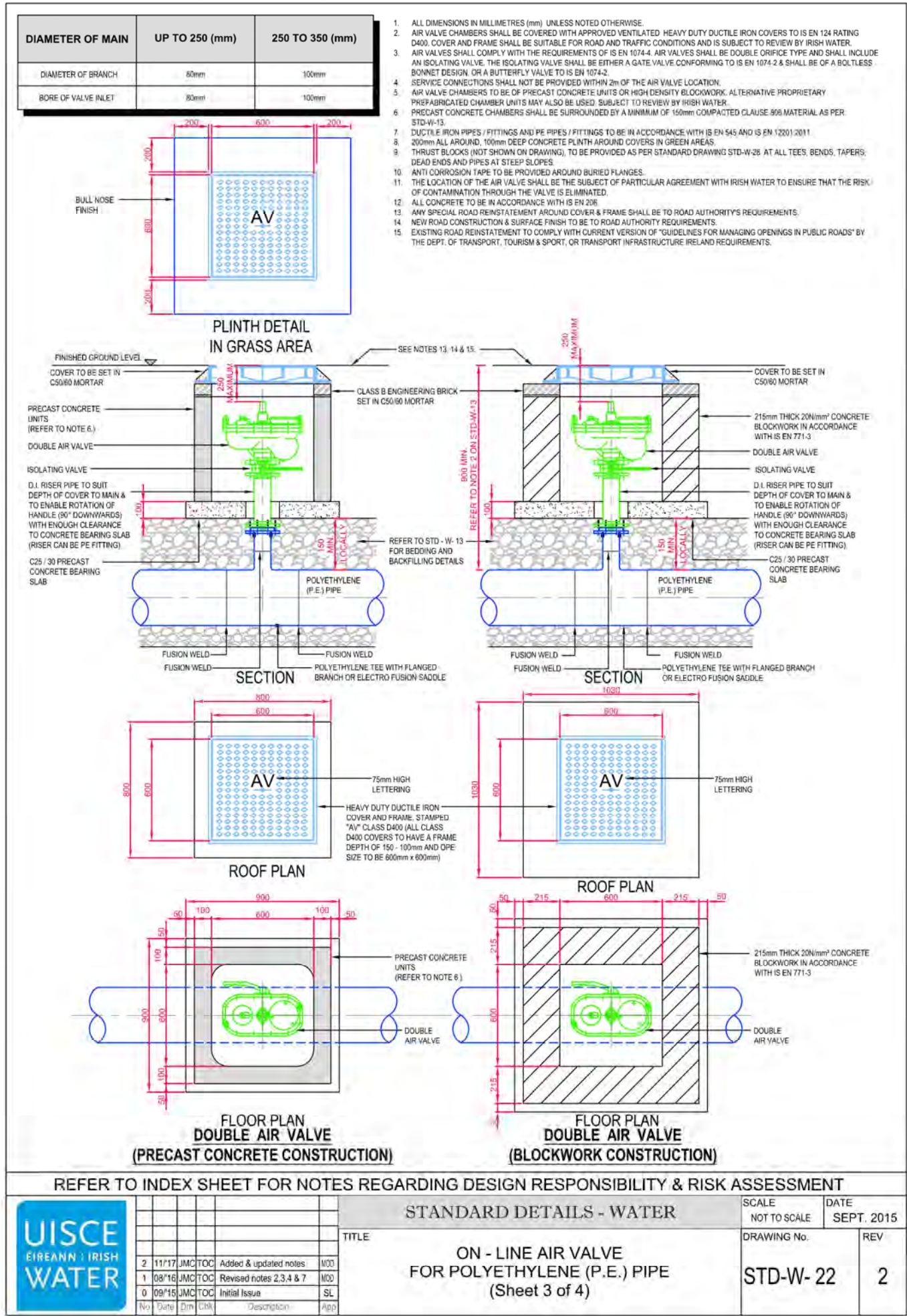
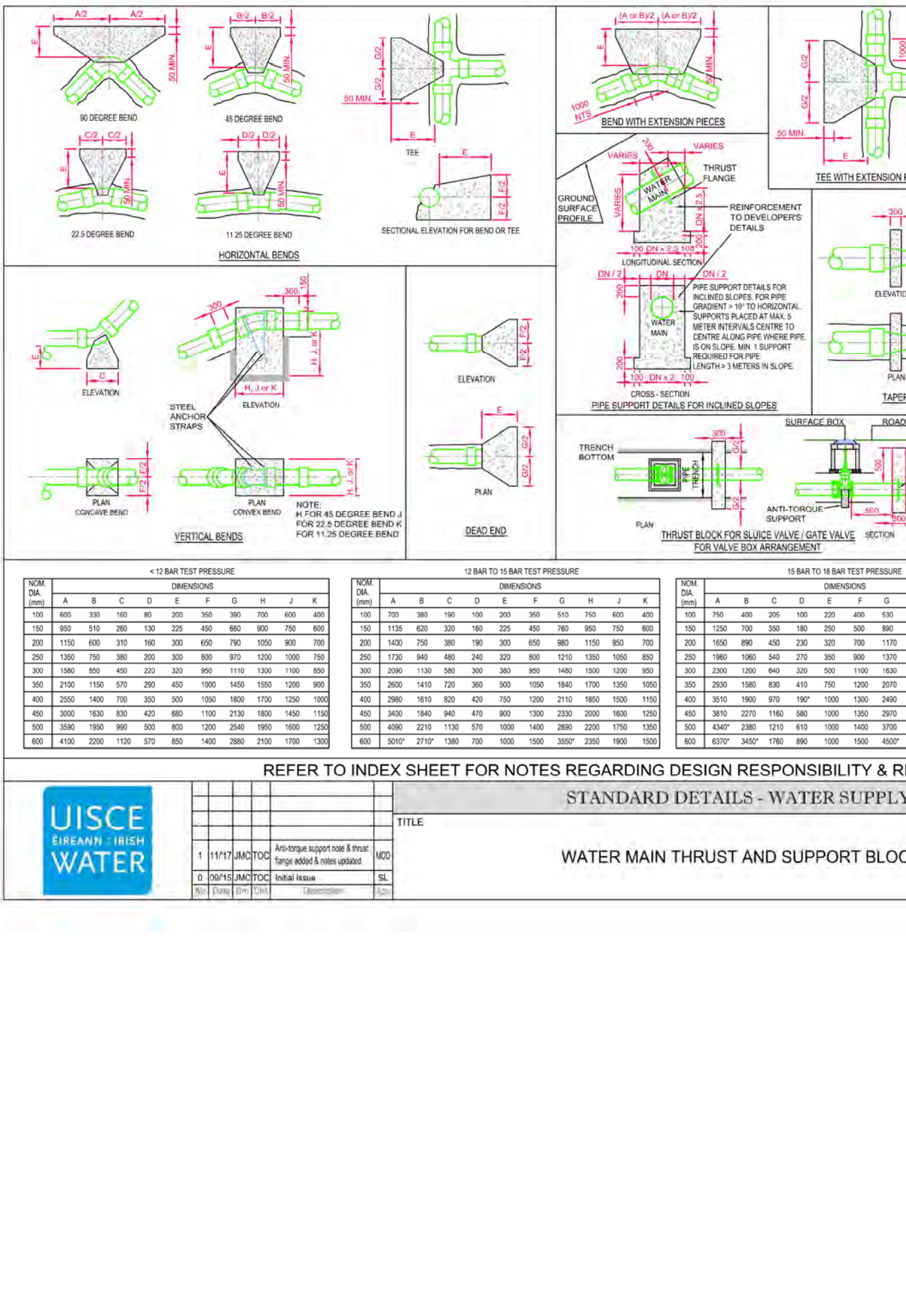
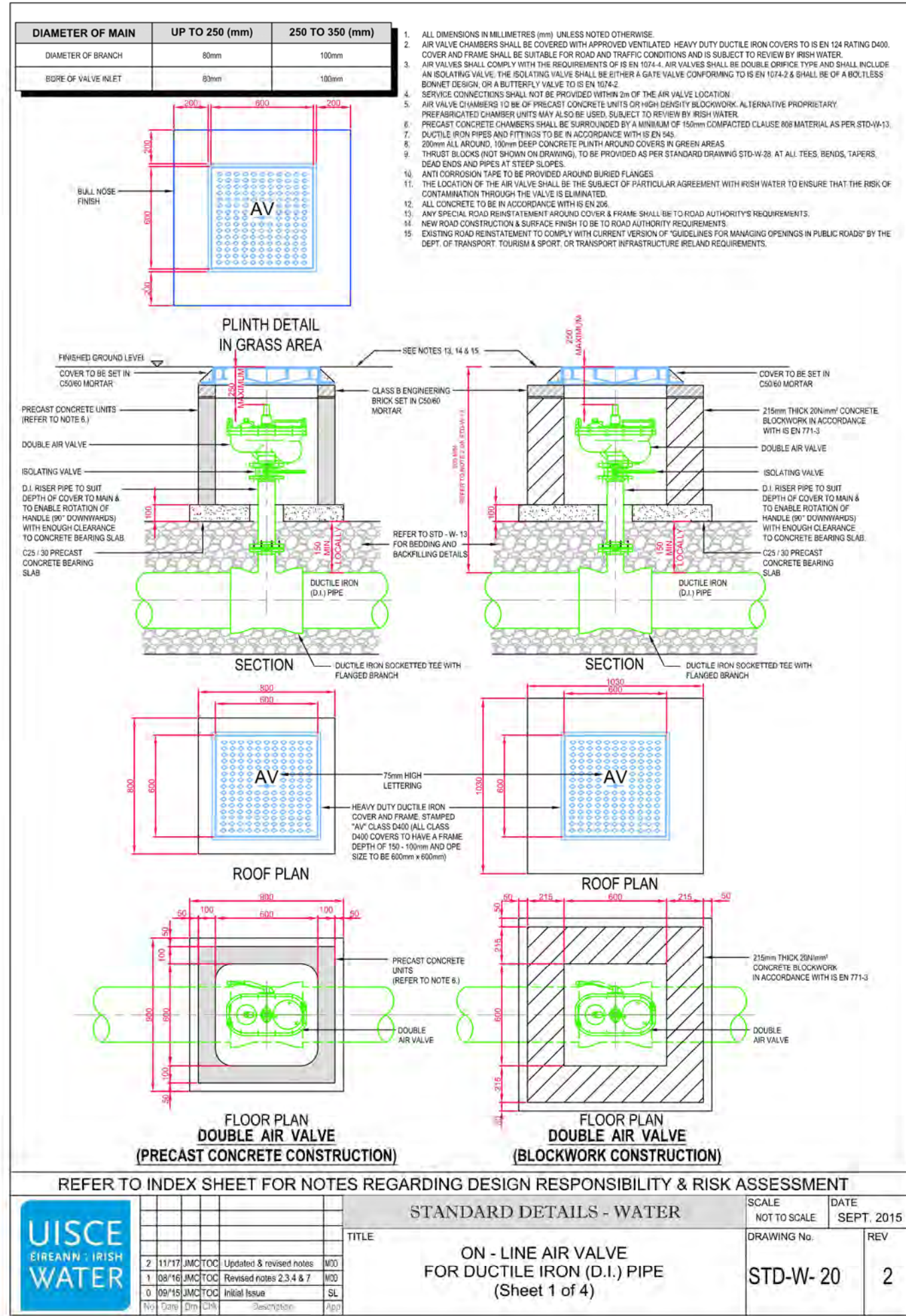
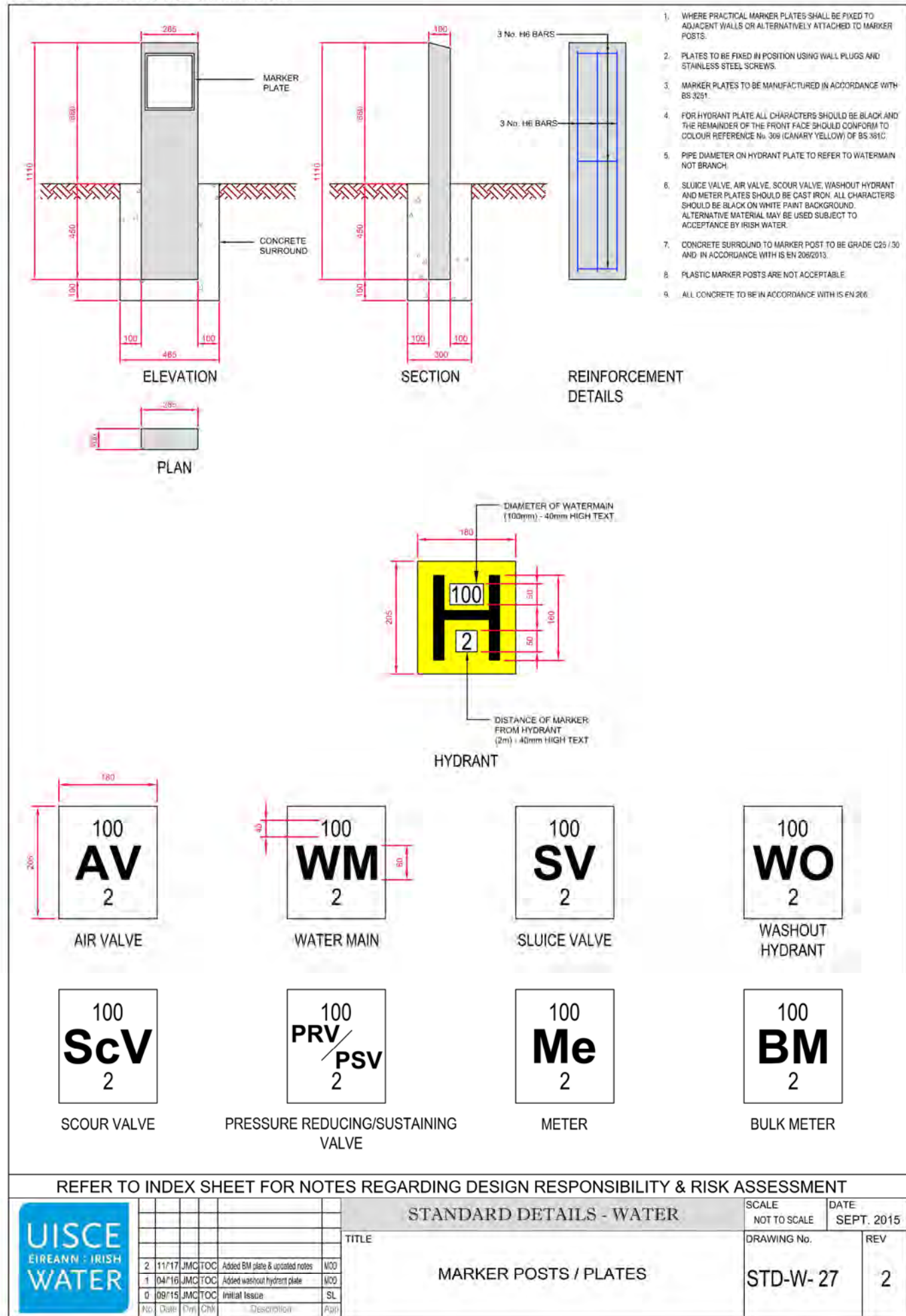
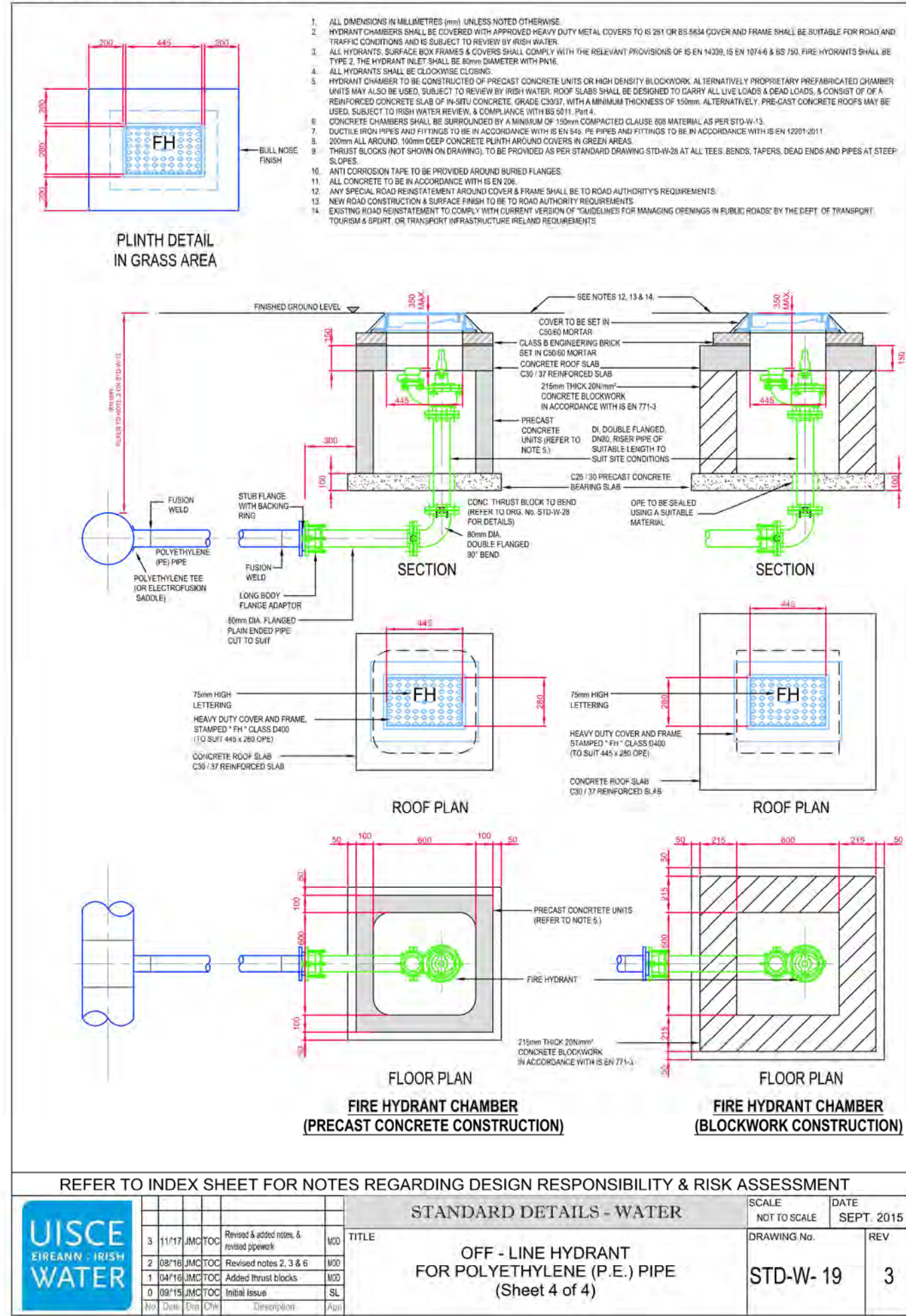
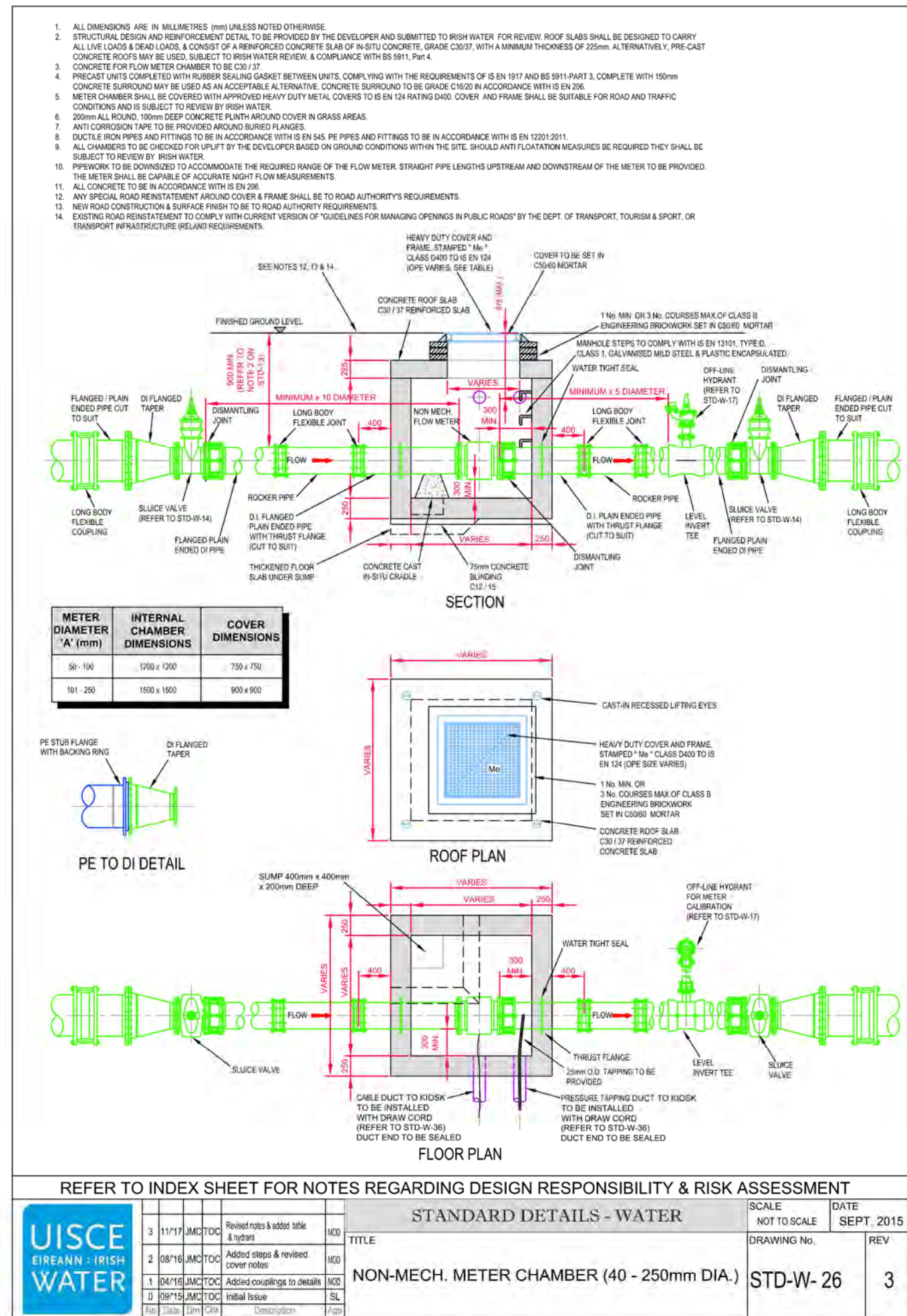
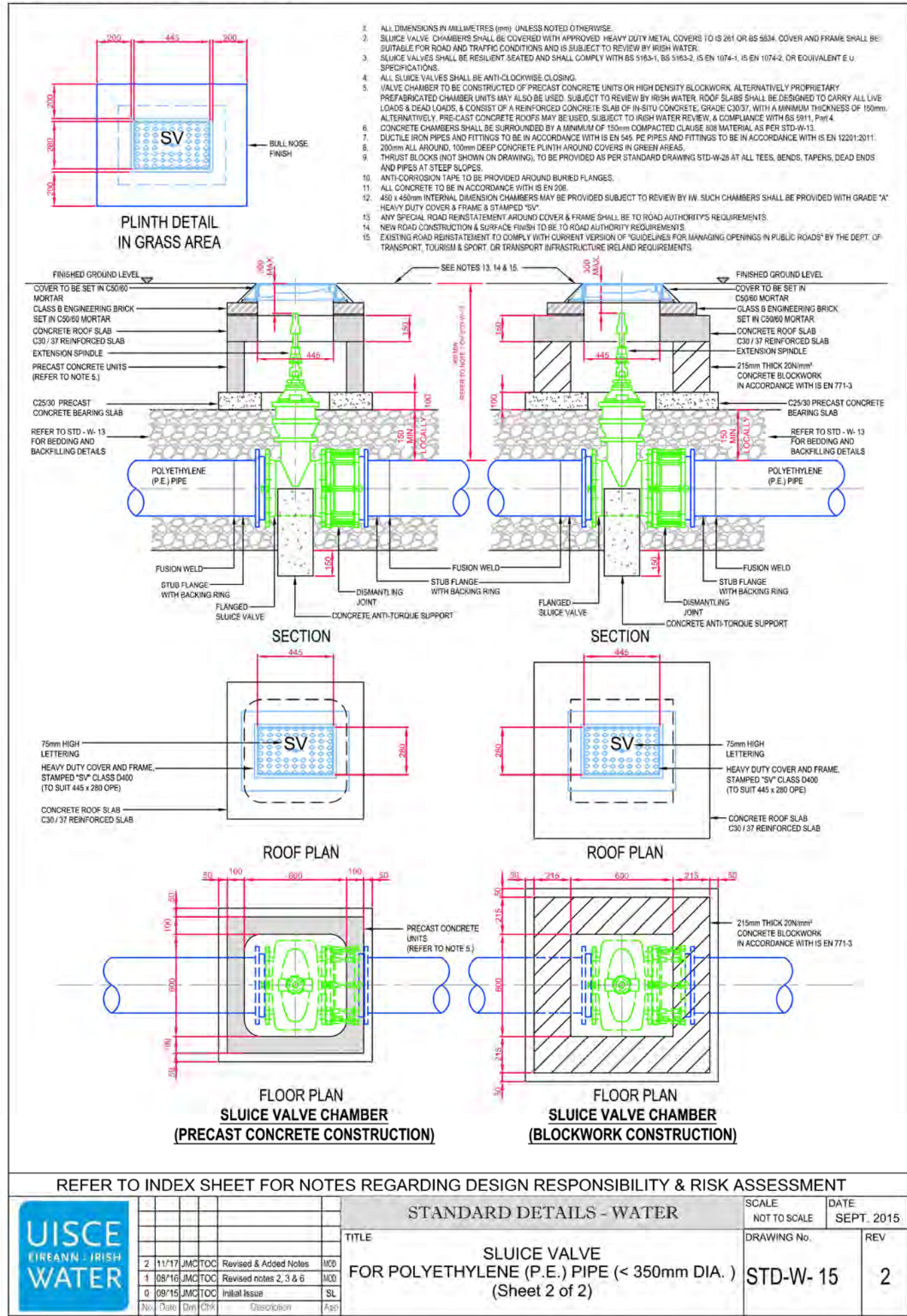
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C	G.S	S.O'G.	C.O'S	27.05.20	Revised & Reissued for Planning	
REV.	DRAWN	CHKD	APPRVD	DATE	DETAILS	



STD-W-01 Water Service Connection responsibility
STD-W-02 Typical Layout for Water Mains within developments
STD-W-03 Customer connection & boundary box
STD-W-06 General Pipe Connection
STD-W-07 General Pipe Connection
STD-W-13 Trench Backfill & Bedding
STD-W-14 Sluice valve for Ductile Iron (D.I.) Pipe (<350mmØ)

Refer to dwg no. 4995-0030 for plan layout



Standard Irish Water Detail References:

STD-W-15 Sluice valve for Polyethylene (P.E.) Pipe (<350mm Ø)

STD-W-19 Off-line hydrant for Polyethylene (P.E.) Pipe

STD-W-20 On-line Air Valve for Ductile Iron (D.I.) Pipe

STD-W-22 On-line Air Valve for Polyethylene (P.E.) Pipe

STD-W-26 Meter chamber (<300mm Ø)

STD-W-27 Marker posts/ Plates

STD-W-28 Water main thrust & support blocks

Refer to dwg no. 4995-5030 for plan layout

