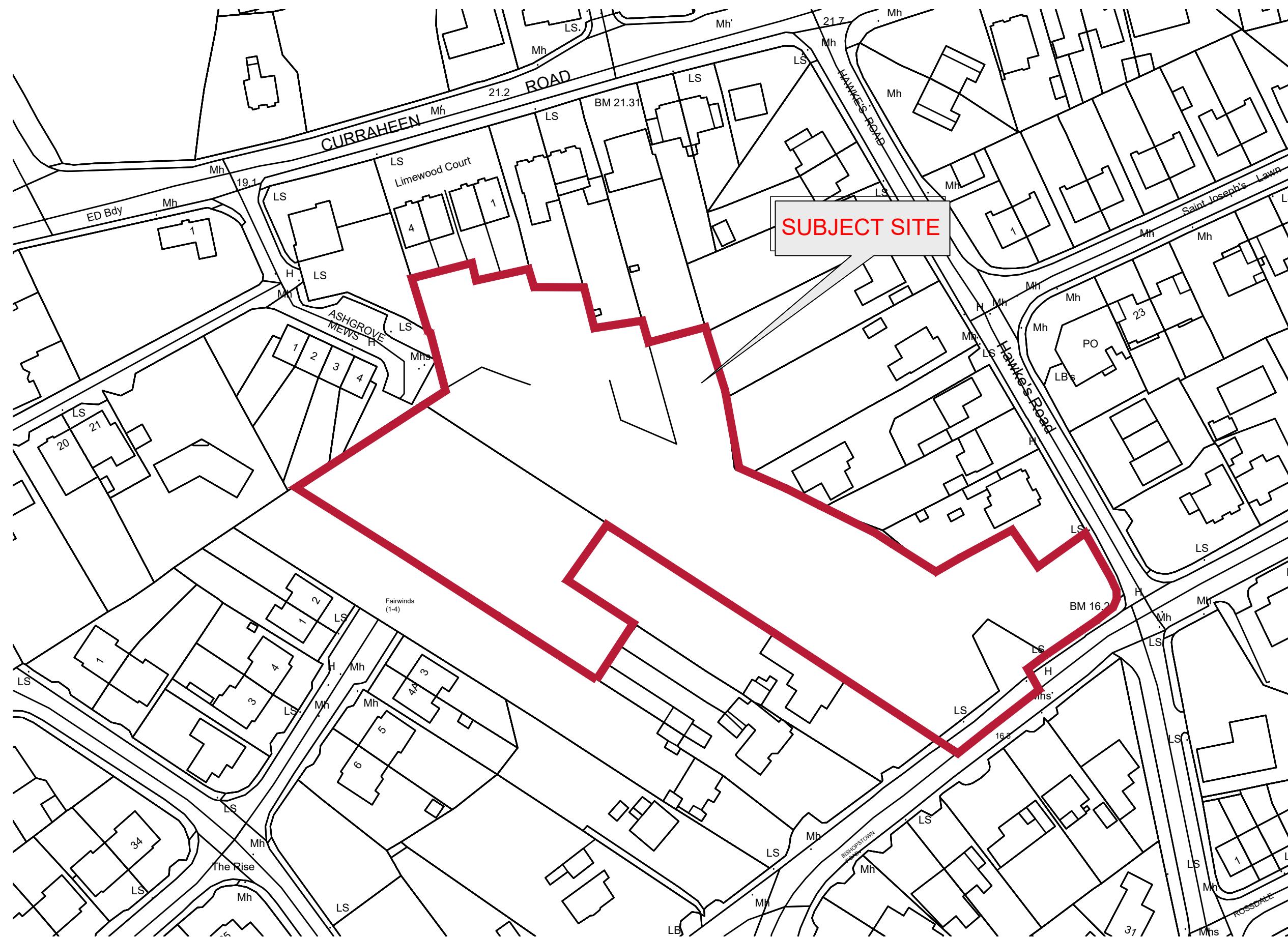




MAP DETAILS	
Description:	Historic 6" Latest Edition
Publisher / Source:	Ordnance Survey Ireland (OSI)
Data Source / Reference:	CK073
Revision Date =	Survey Date = 31-Dec-1934
Levelled Date = 31-Dec-1939	
CK074	
Revision Date =	Survey Date = 31-Dec-1928
Levelled Date = 31-Dec-1956	
CK085	
Revision Date =	Survey Date = 31-Dec-1934
Levelled Date = 31-Dec-1940	
CK086	
Revision Date =	Survey Date =
Levelled Date = 31-Dec-1938	
9900-01	
Revision Date =	Survey Date =
Levelled Date = 01-Jan-2001	
File Format:	Tagged Image File Format (TIFF)
File Name:	R_50009419_1.tif
Clip Extent / Area of Interest (AOI):	LLX,LLY= 560372,0.567056.0 LRLX,RLY= 567382,0.567056.0 ULX,ULY= 560372,0.572250.0 URX,URY= 567382,0.572250.0
Projection / Spatial Reference:	IRENET95_Irish_Transverse_Mercator
Centre Point Coordinates:	X,Y = 563877,0.569653.0
Data Extraction Date:	29-May-2018
Version / Release:	1.0
License / Copyright:	Ordnance Survey Ireland 'Terms of Use' apply. Please visit www.osi.ie/about/terms-conditions .
© Ordnance Survey Ireland, 2018	
Compiled and published by Ordnance Survey Ireland, Phoenix Park, Dublin 8, Ireland.	
Unauthorised reproduction infringes Ordnance Survey Ireland and Government of Ireland copyright.	
All rights reserved. No part of this publication may be copied, reproduced or transmitted in any form or by any means without the prior written permission of the copyright owners.	
The representation on this map of a road, track or footpath is not evidence of the existence of a right of way.	
Ordnance Survey maps never show legal property boundaries, nor do they show ownership of physical features.	
Copyright Licence 2020 Ordnance Survey Ireland Licence No. AR 0092420 (Copyright) ORDNANCE SURVEY IRELAND GOVERNMENT OF IRELAND	
P3	ISSUE FOR PLANNING 02.06.20
No.	Revision/Issue Date
Firm Name and Address	
DEADY GAHAN ARCHITECTS	
Eastgate Village, Little Island, Cork Tel: 021 4355016 Fax: 021 4355330 Email: info@dgarchitects.ie	
Project Name and Address	
RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWK'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY	
Drawing Title	Date
SITE LOCATION MAP	09.07.18
Drawing No.	Drawn
17147-P-001	AV
Scale	Sheet No.
1:10560 @ A3	1 of 1



MAP DETAILS	
Description:	===== Digital Cartographic Model (DCM)
Publisher / Source:	===== Ordnance Survey Ireland (OSI)
Data Source / Reference:	===== PRIME2
File Format:	===== Autodesk AutoCAD (DWG_R2013)
File Name:	===== v_50009419_1.dwg
Clip Extent / Area of Interest (AOI):	===== LLX,LLY= 563462,0.569345.5 LRLX,RLY= 564292,0.569345.5 ULX,ULY= 563462,0.569960.5 URX,URY= 564292,0.569960.5
Projection / Spatial Reference:	===== Projection=IREN95_Irish_Transverse_Mercator
Centre Point Coordinates:	===== X,Y= 563877,0.569653,0
Data Extraction Date:	===== Date= 29-May-2018
Version / Release:	===== Version= 1.0
License / Copyright:	===== Ordnance Survey Ireland 'Terms of Use' apply. Please visit www.osi.ie/about/terms-conditions .
© Ordnance Survey Ireland, 2018	
Compiled and published by Ordnance Survey Ireland, Phoenix Park, Dublin 8, Ireland.	
Unauthorised reproduction infringes Ordnance Survey Ireland and Government of Ireland copyright.	
All rights reserved. No part of this publication may be copied, reproduced or transmitted in any form or by any means without the prior written permission of the copyright owners.	
The representation on this map of a road, track or footpath is not evidence of the existence of a right of way.	
Ordnance Survey maps never show legal property boundaries, nor do they show ownership of physical features.	
Copyright Licence 2020 Ordnance Survey Ireland Licence No. AR 0092420 (Copyright) ORDNANCE SURVEY IRELAND GOVERNMENT OF IRELAND	
	
P3	ISSUE FOR PLANNING 02.06.20
No.	Revision/Issue Date
Firm Name and Address	
DEADY GAHAN  ARCHITECTS <small>Eastgate Village, Little Island, Cork Tel: 021 4355016 Fax: 021 4355330 Email: info@dgarchitects.ie</small>	
Project Name and Address	
RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY	
Drawing Title	Date
SITE LOCATION MAP	09.07.18
Drawing No.	Drawn
17147-P-002	AV
Scale	Sheet No.
1:1000 @ A3	1 of 1

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

date 02.06.20	rev P3	name LM	chk EJG	note ISSUE FOR PLANNING
------------------	-----------	------------	------------	----------------------------



DEADY GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
**RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY**

Drawing title			
EXISTING SITE PLAN			
Scale 1:500 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/003A		Revision P3
<input type="checkbox"/> Information \ Comments			<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning			<input type="checkbox"/> Construction

EXISTING SITE PLAN

Schedule of Accommodation and Housing Quality Assessment

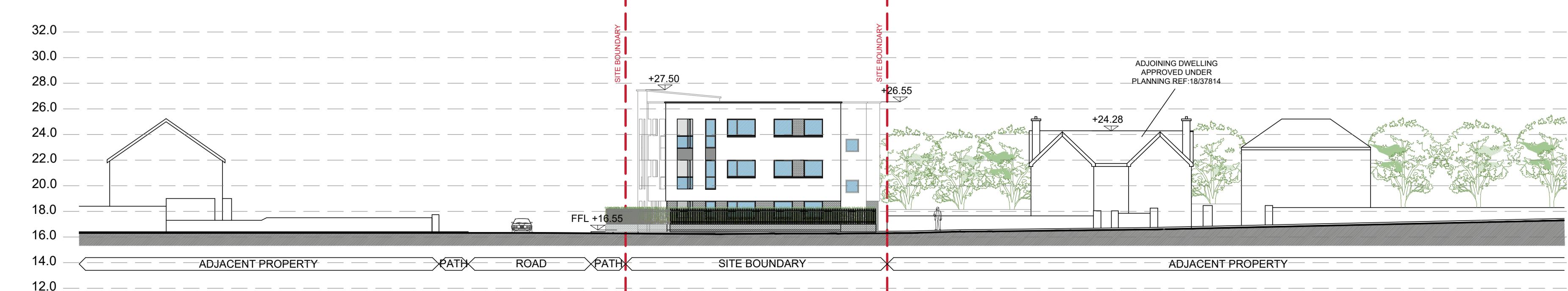
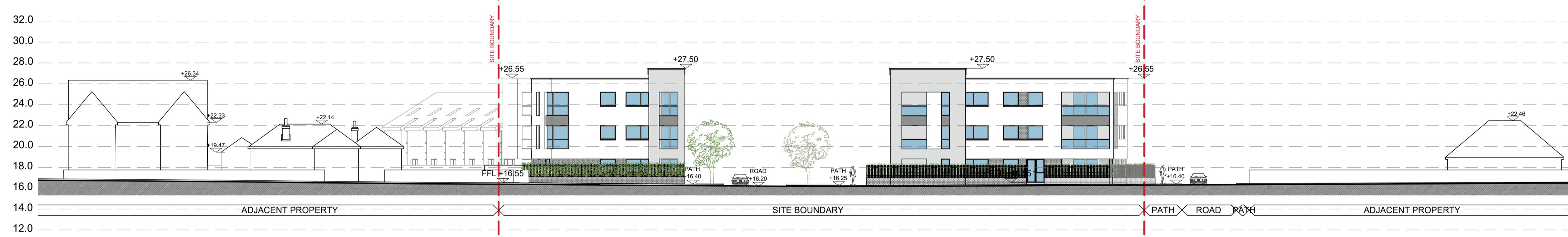
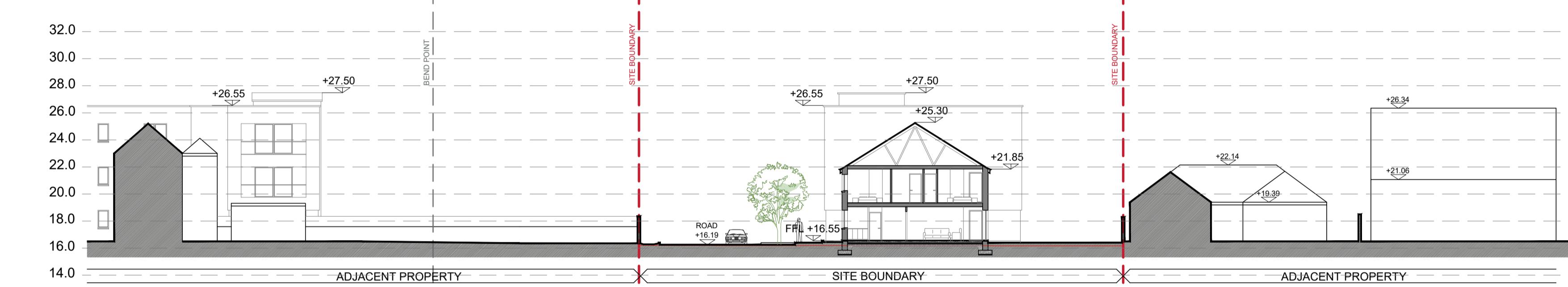
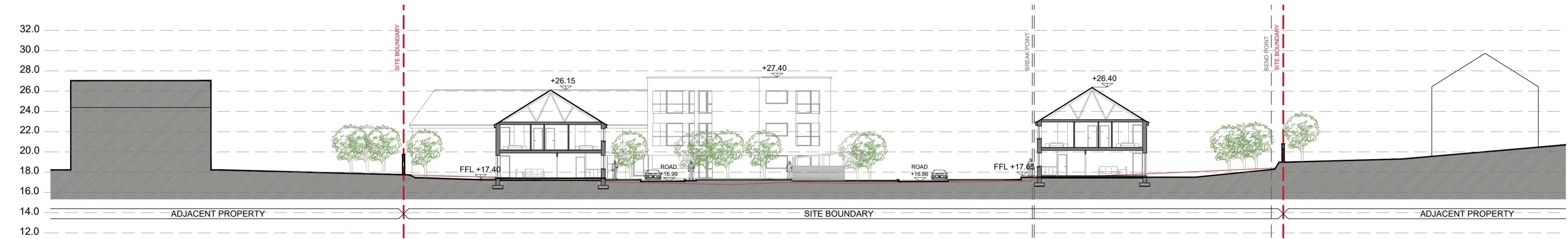


HOUSING

Unit No.	Block	Description	BED SPACES	UNIT AREA M ²	Agg. LIVING AREA M ²	BED 1	BED 2	BED 3	Agg. BED AREA M ²	STORAGE M ²	ASPECT	AMENITY SPACE M ²
A.01	A	2 Bedroom apartment	4	78.1	30.4	13.0	11.5	0.0	24.5	6.10	double	8.7
A.02	A	2 Bedroom apartment	4	80.2	32.2	13.4	11.4	0.0	24.8	6.50	triple	7.5
A.03	A	1 Bedroom apartment	2	54.4	25.1	12.5	0.0	0.0	12.5	4.30	double	7.6
A.04	A	2 Bedroom apartment	4	78.1	30.4	14.1	11.8	0.0	25.9	6.50	double	10.9
A.05	A	2 Bedroom apartment	4	80.2	30.5	13.1	11.5	0.0	24.6	8.00	triple	9.6
A.06	A	2 Bedroom apartment	4	76.6	30.5	14.6	11.6	0.0	26.2	6.10	double	8.7
A.07	A	2 Bedroom apartment	4	78.1	30.4	14.1	11.8	0.0	25.9	6.50	double	10.9
A.08	A	2 Bedroom apartment	4	80.2	30.5	13.1	11.5	0.0	24.6	8.00	triple	9.6
A.09	A	2 Bedroom apartment	4	76.6	30.5	14.6	11.6	0.0	26.2	6.10	double	8.7
B.01	B	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	35.9
B.02	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.80	triple	39.7
B.03	B	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
B.04	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.00	triple	6.2
B.05	B	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
B.06	B	2 Bedroom apartment	3	72.2	30.9	13.1	8.0	0.0	21.1	5.00	triple	6.2
B.07	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	48.8
B.08	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.2
B.09	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	48.8
B.10	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	49.4
B.11	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	49.9
B.12	B	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	50.5
B.13	B	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	6.90	double	51.1
B.14	B	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	83.7
C.01	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	32.5
C.02	C	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	26.5
C.03	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	7.1
C.04	C	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
C.05	C	2 Bedroom apartment	3	71.1	28.3	13.3	7.4	0.0	20.7	5.00	triple	7.1
C.06	C	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.5
C.07	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
C.08	C	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.5
C.09	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.1
C.10	C	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	52.0
C.11	C	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	51.7
C.12	C	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	89.2
D.01	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	125.0
D.02	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.2
D.03	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.1
D.04	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
D.05	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.1
D.06	D	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	50.9
D.07	D	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	67.2
D.08	D	2 Bedroom townhouse	4	82.5	30.1	13.4	11.6	0.0	25.0	5.80	triple	140.0
E.01	E	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	triple	179.2
E.02	E	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	50.4
E.03	E	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	61.0
E.04	E	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	52.0
E.05	E	3 Bedroom townhouse	5	104.0	34.0	13.3	11.4	7.3	32.0	9.50	double	75.9
F.01	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	32.9
F.02	F	1 Bedroom apartment	2	53.2	26.8	12.6	0.0	0.0	12.6	3.90	double	38.7
F.03	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	6.1
F.04	F	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.8
F.05	F	2 Bedroom apartment	3	68.3	28.2	13.1	7.7	0.0	20.8	6.20	double	6.1
F.06	F	1 Bedroom apartment	2	53.2	23.6	12.0	0.0	0.0	12.0	3.00	double	7.8
F.07	F	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
F.08	F	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
F.09	F	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
F.10	F	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
F.11	F	3 Bedroom townhouse	5	105.4	34.0	13.2	11.4	7.7	32.3	9.60	double	178.5
G.01	G	3 Bedroom townhouse	5	105.5	35.5	13.3	11.4	7.3	32.0	9.50	double	72.5
G.02	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
G.03	G	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
G.04	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	48.0
G.05	G	2 Bedroom townhouse	4	84.2	30.4	13.0	12.1	0.0	25.1	6.90	double	48.0
G.06	G	2 Bedroom townhouse	4	84.2	30.7	13.0	12.1	0.0	25.1	5.50	double	51.2
H.01	H</											







date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING

DEADY
GAHAN
ARCHITECTS

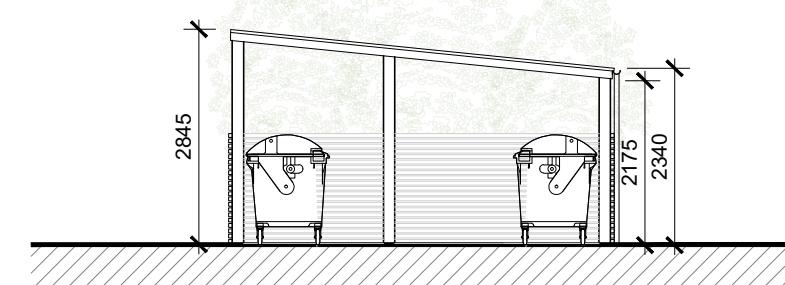
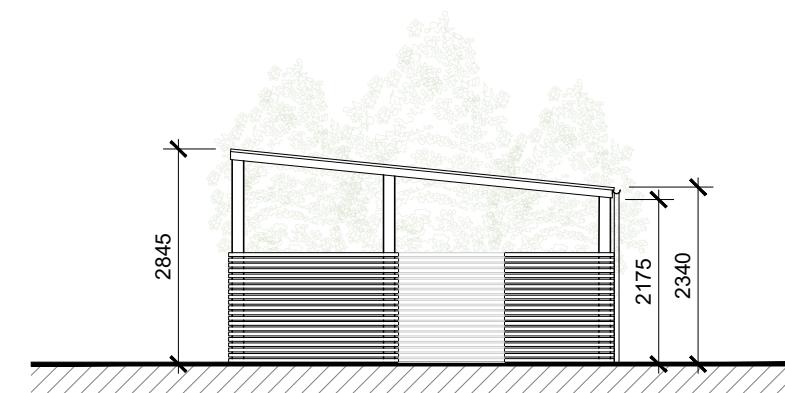
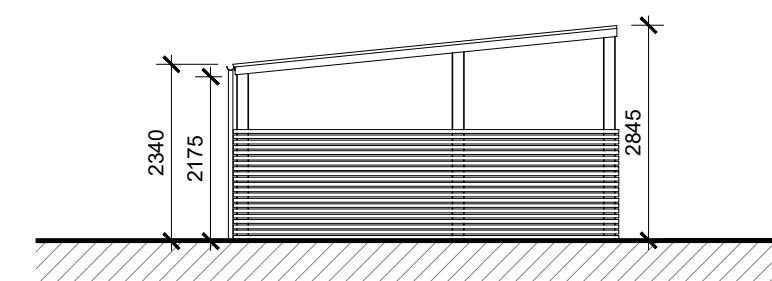
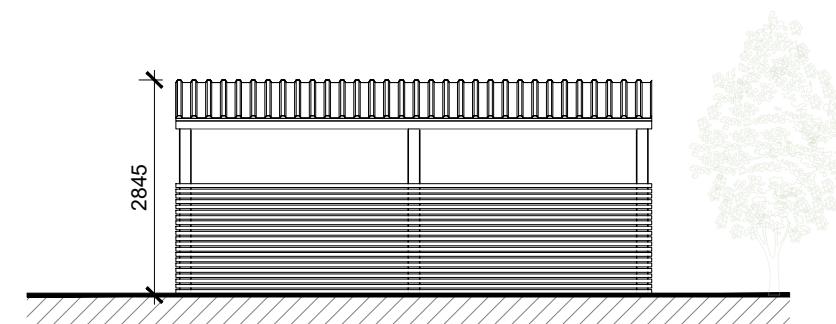
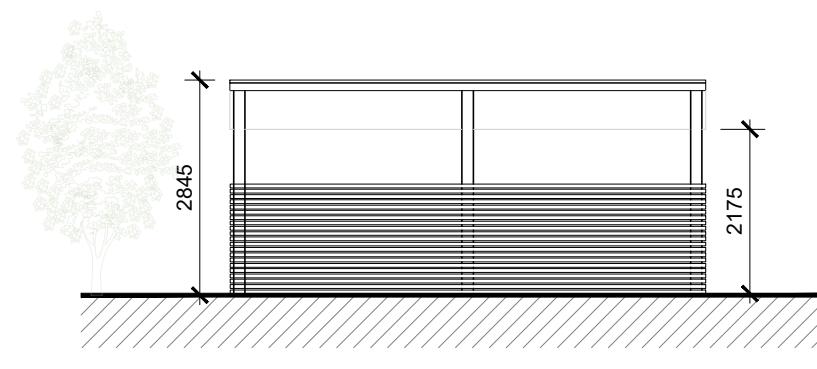
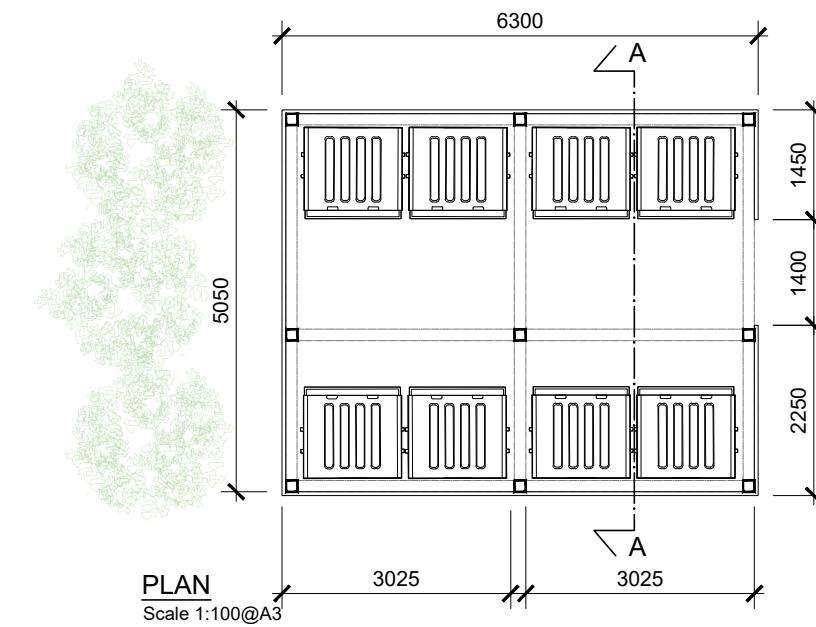
Eastgate Village, Little Island, Cork
Tel: 021 4355010 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
PROPOSED SITE SECTIONS

Scale 1:250 @ A1 Drawn AV Checked EJG Date 2018.07.02
Project No. 17147 Org. No. 17147/P/004 Revision P3

Information \ Comments Tender
 Planning Construction



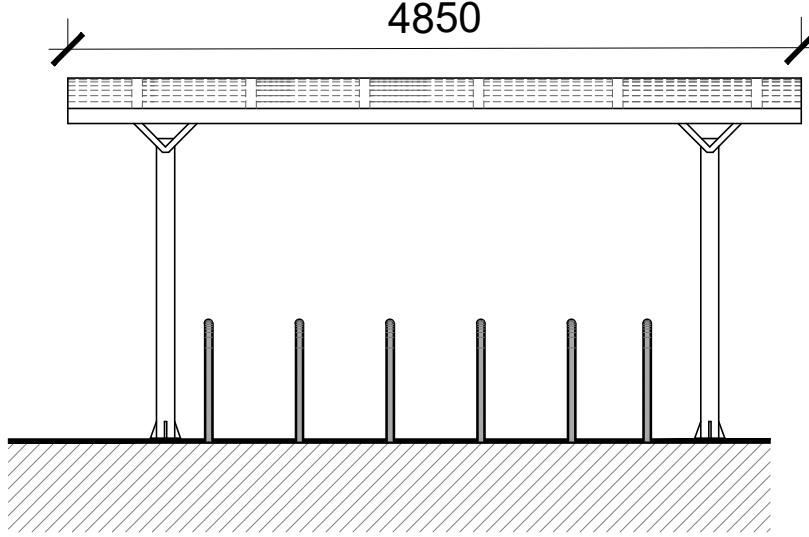
date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

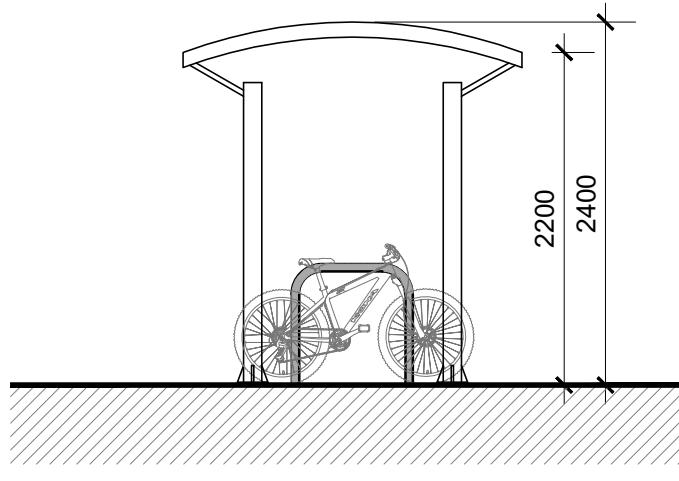
Drawing title BINS STORE
PLAN, ELEVATIONS AND SECTION AA

Scale 1:100 @ A3	Drawn RV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/005	Revision P3	
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
<input type="checkbox"/> Planning		<input type="checkbox"/> Construction	



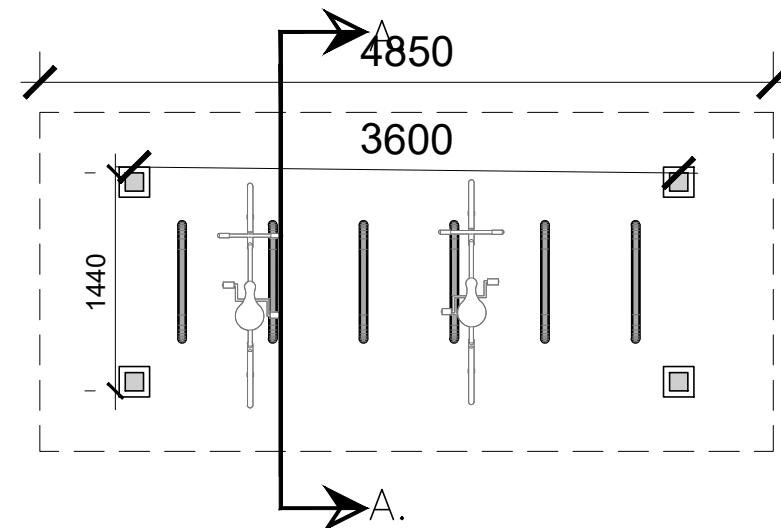
FRONT ELEVATION

SCALE 1:50 @ A3



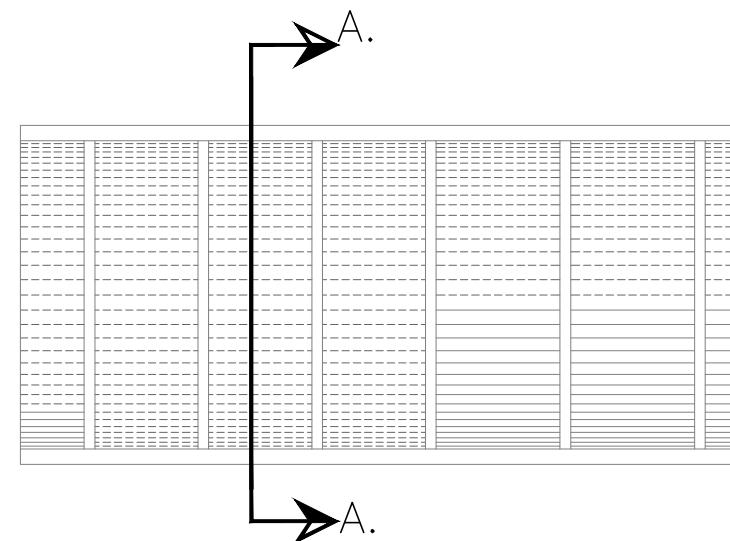
SECTION A-A

SCALE 1:50 @ A3



PLAN

SCALE 1:50 @ A3



ROOF PLAN

SCALE 1:50 @ A3



BIKE RACK IMAGE

NTS @ A3

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

date 02.06.20	rev P3	name LM	chk E/JG	note ISSUE FOR PLANNING
 <p>Eastgate Village, Little Island, Cork Tel 021 4355016 Fax 021 4355330 Email: info@dgarchitects.ie</p>				
Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY				
Drawing title PROPOSED TYPICAL BIKE RACK				
Scale 1:50 @ A3	Drawn LM	Checked E/JG	Date 03.10.19	
Project No. 17147	Dir. No. 17147/P/006		Revision P3	
<input type="checkbox"/> Information / Comments <input checked="" type="checkbox"/> Planning <input type="checkbox"/> Construction				



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK A

PROJECT NO.: 17147

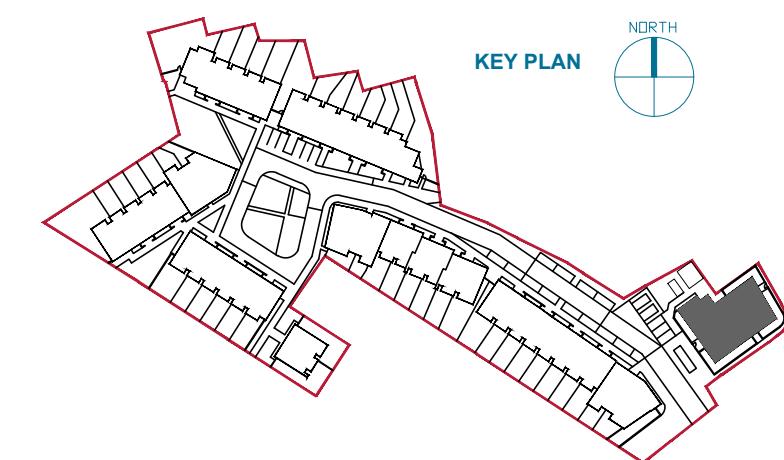
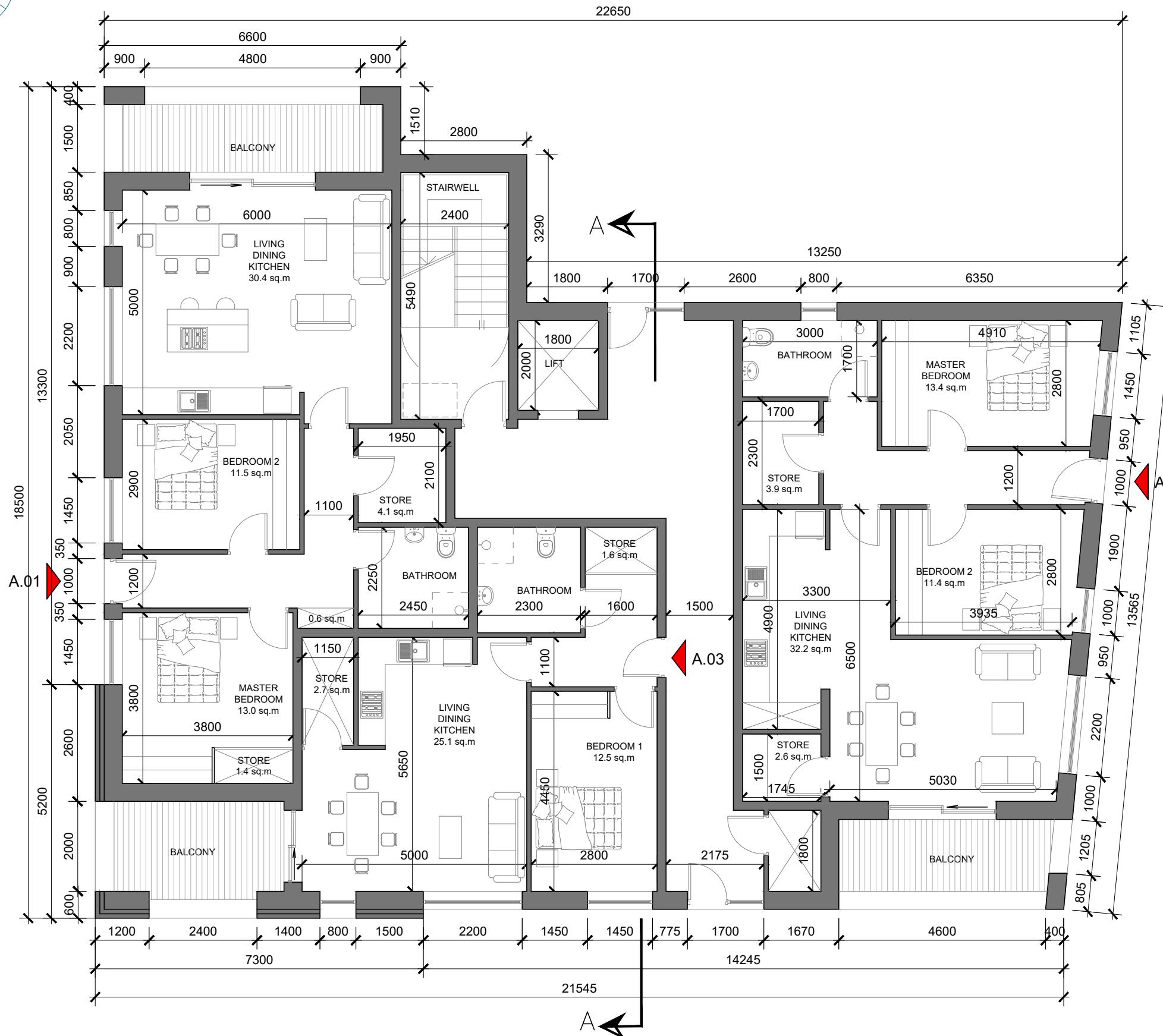
DRAWING NO.: 17147-SK-100

DATE: 02.06.20

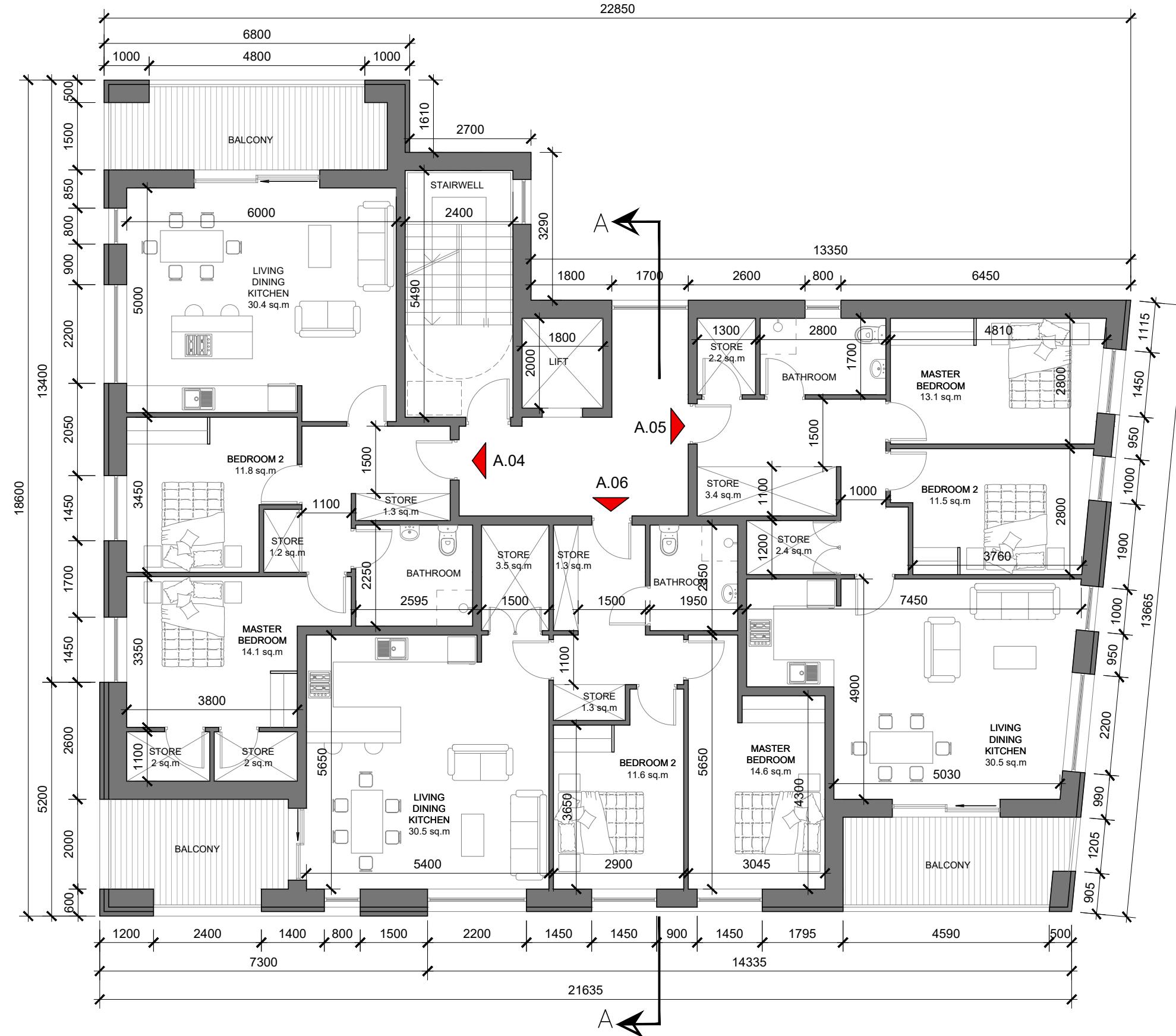
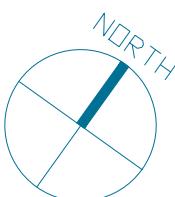
SCALE: NTS @ A3

DEADY
GAHAN
A R C H I T E C T S

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



date	02.06.20	rev	P3	name	LM	chk	EJG	note	ISSUE FOR PLANNING
 DEADY GAHAN ARCHITECTS									
Eastgate Village, Little Island, Cork Tel: 021 435516 Fax: 021 4355130 Email: info@dgarchitects.ie									
Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY									
Drawing title BLOCK A GROUND FLOOR PLAN									
Scale	1:100 @ A3	Drawn	AV	Checked	EJG	Date	2018.02.26		
Project No.	17147	Drg. No.	17147/P/101	Revision	P3				
<input type="checkbox"/> Information / Comments <input checked="" type="checkbox"/> Planning					Tender <input type="checkbox"/> Construction <input type="checkbox"/>				

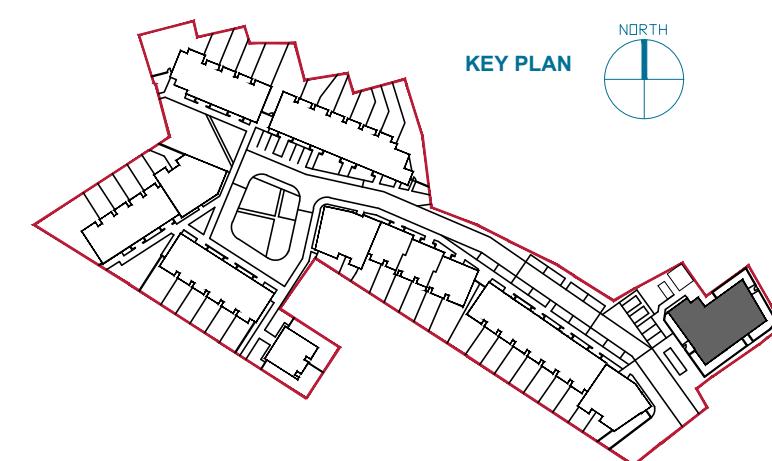


Block A | First Floor

Apartment A.4 | 78.1 sq.m | 2 bed - 4 person

Apartment A.5 | 80.2 sq.m | 2 bed - 4 person

Apartment A.6 | 76.6 sq.m | 2 bed - 4 person



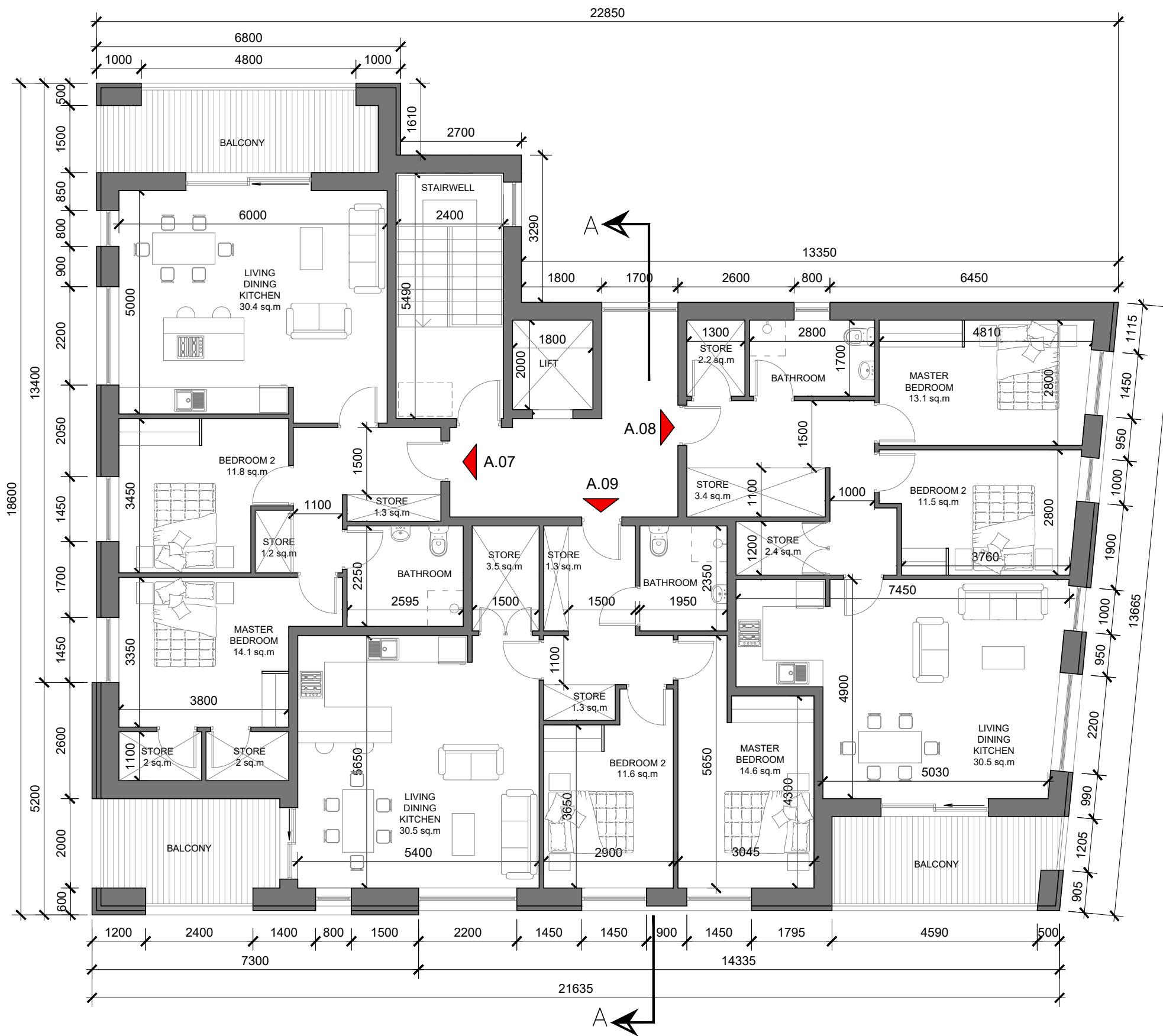
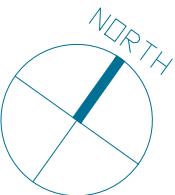
date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK A
FIRST FLOOR PLAN

Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/102	Revision P3	Tender
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Construction	
<input type="checkbox"/> Planning		<input type="checkbox"/> Tender	

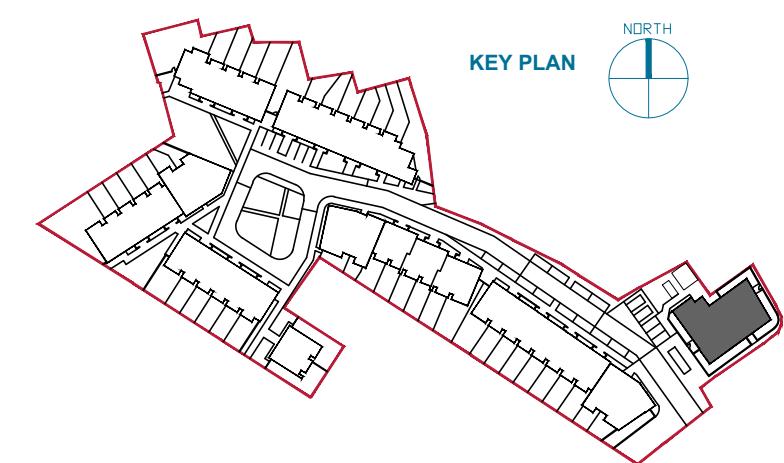


Block A | Second Floor

Apartment A.7 | 78.1 sq.m | 2 bed - 4 person

Apartment A.8 | 80.2 sq.m | 2 bed - 4 person

Apartment A.9 | 76.6 sq.m | 2 bed - 4 person



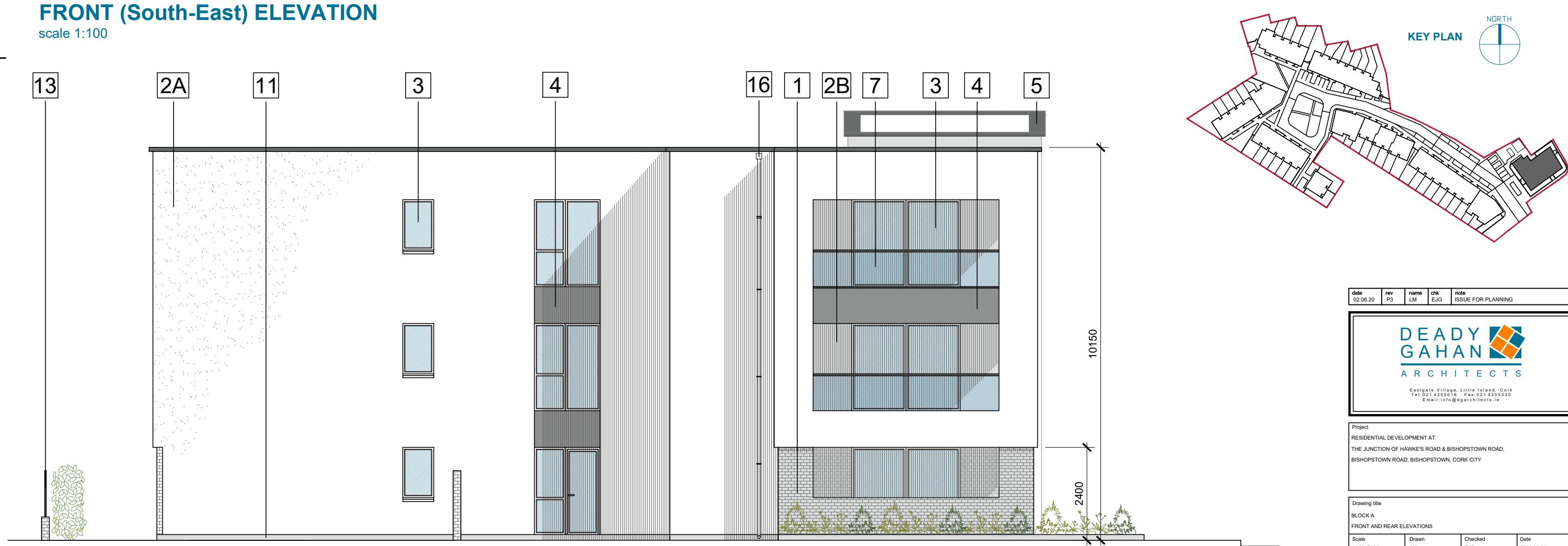
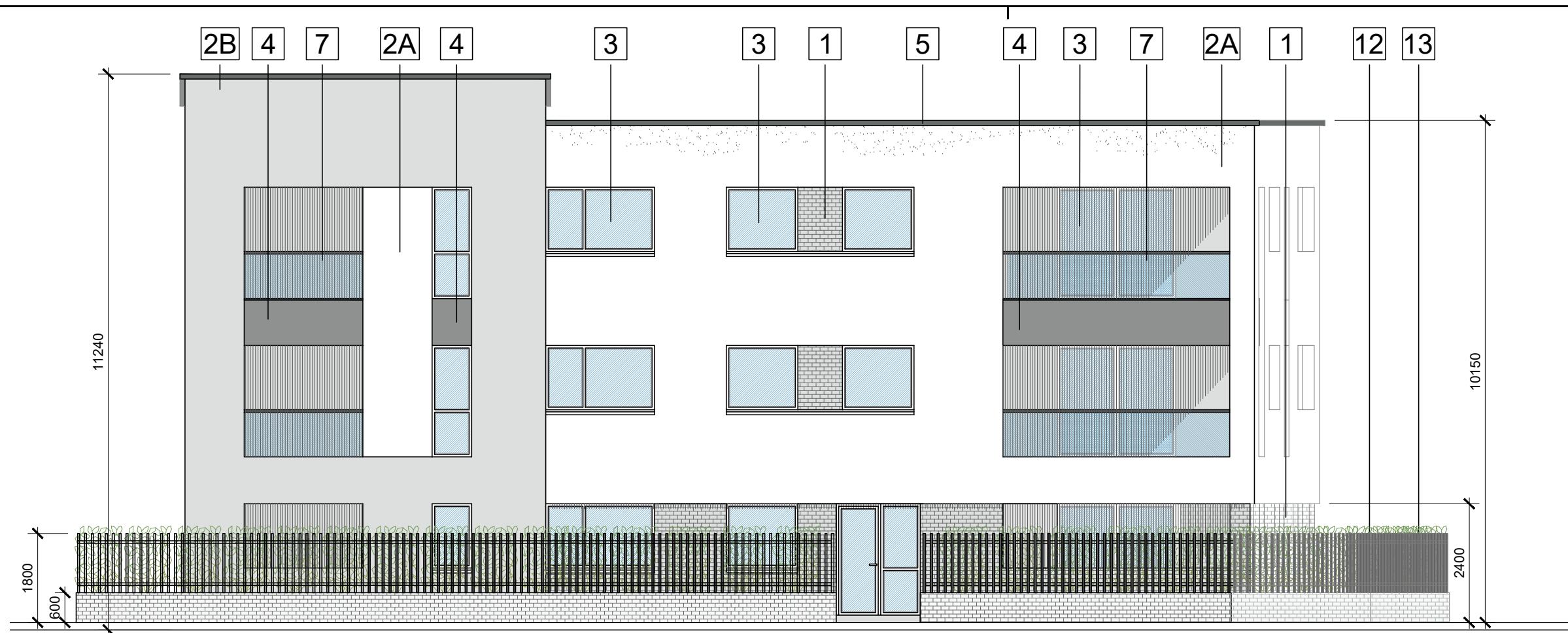
date 02.06.20 rev P3 name L.M. chk E.J.G. note ISSUE FOR PLANNING

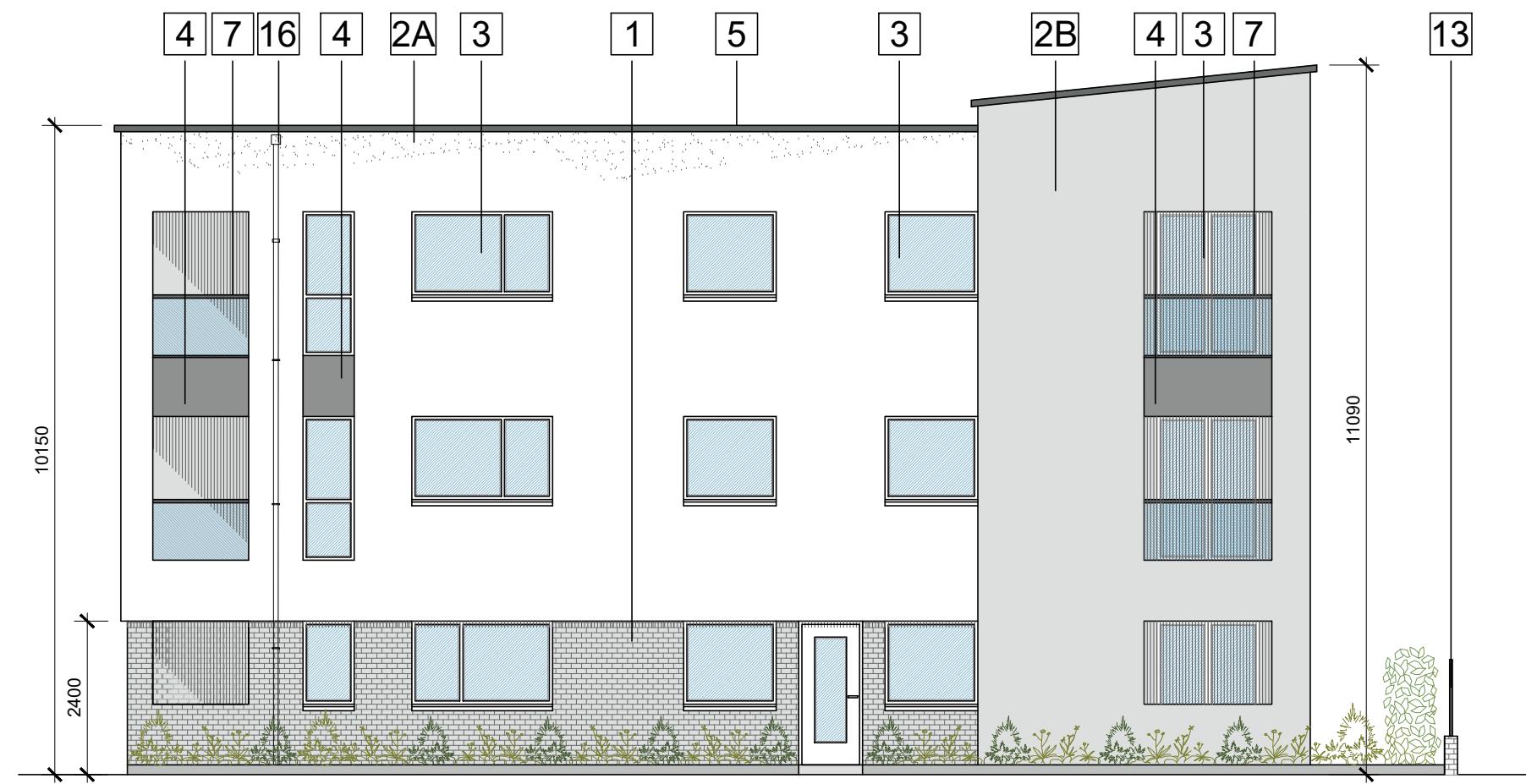


Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK A
SECOND FLOOR PLAN

Scale 1:100 @ A3	Drawn AV	Checked E.J.G.	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/103	Revision P3	
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
<input type="checkbox"/> Planning		<input type="checkbox"/> Construction	





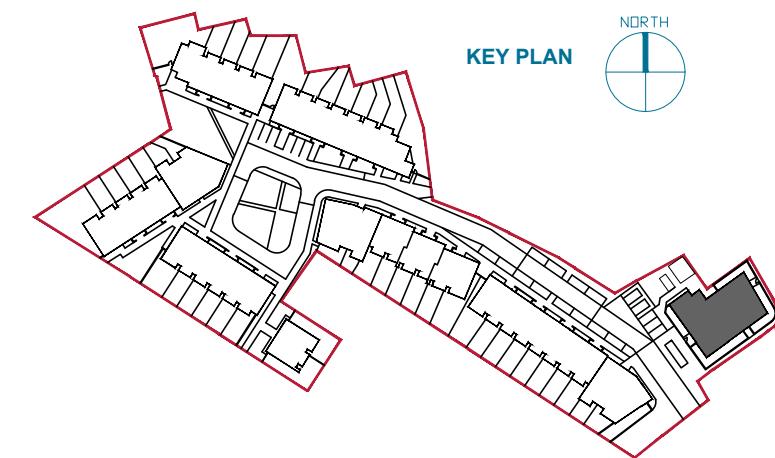
SIDE (South-West) ELEVATION

scale 1:100



SIDE (North-East) ELEVATION

scale 1:100



KEY PLAN

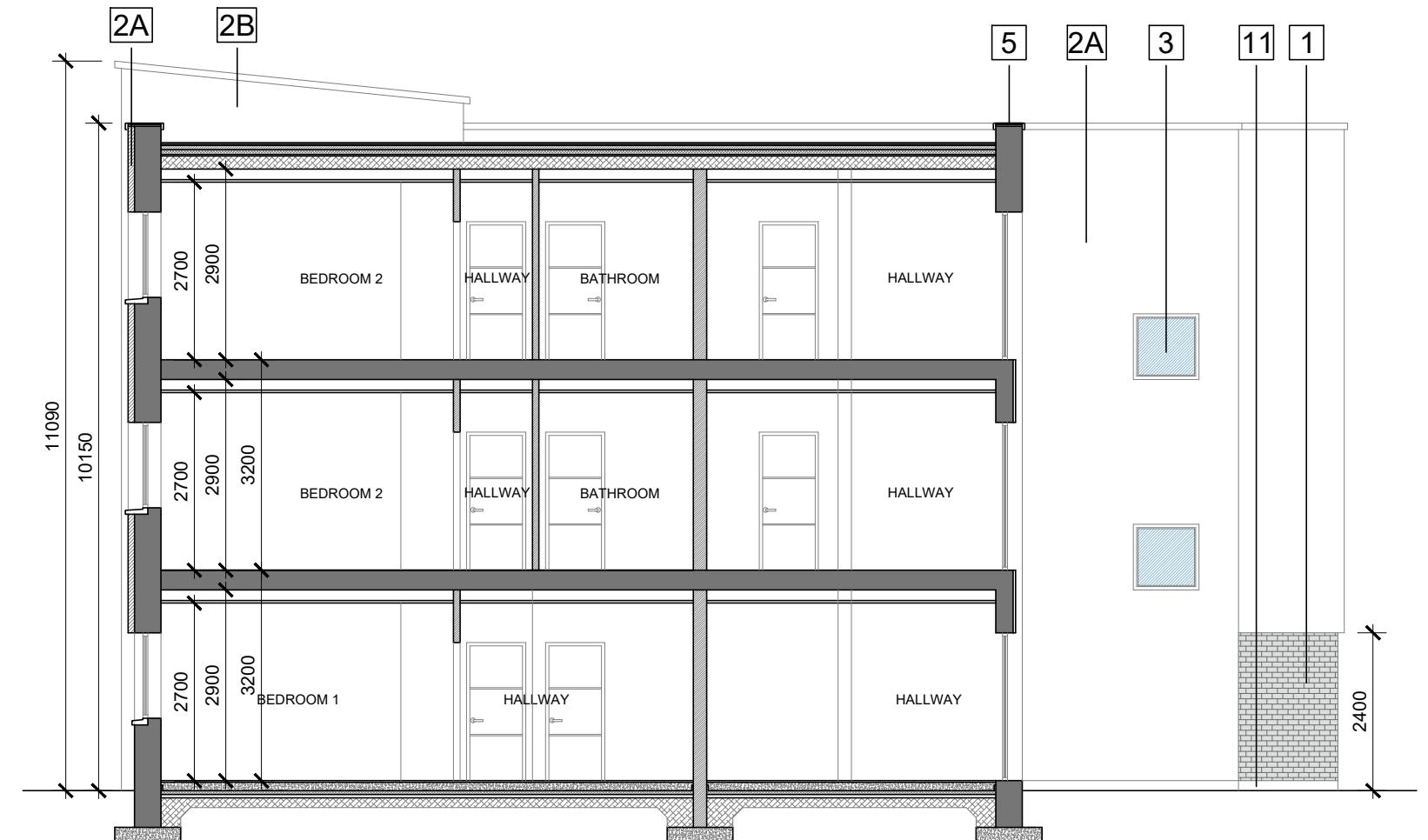


date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING

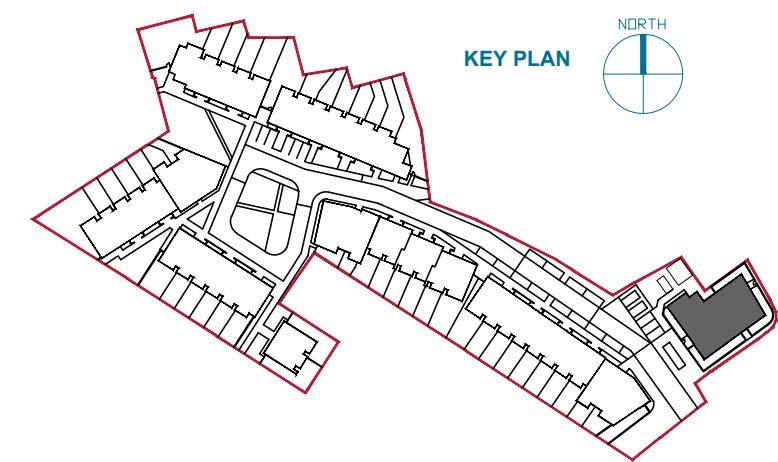


Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK A
SIDE ELEVATIONS
Scale 1:100 @ A3 Drawn AV Checked EJG Date 2018.02.26
Project No. 17147 Drg. No. 17147/P105 Revision P3
 Information \ Comments Tender
 Planning Construction



OUTLINE SPECIFICATION NOTES	
[1]	EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
[2A]	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
[2B]	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
[3]	WINDOWS/DOORS: GREY U PVC/ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
[4]	PRESSING METAL PANEL TO MATCH WINDOW FRAME
[5]	ROOF PRESSED METAL FASCIA, GREY IN COLOUR
[6]	PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
[7]	GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
[8]	CONCRETE POST AND TIMBER INFILL PANELS
[9]	uPVC TIMBER FRONT DOOR
[10]	ALUMINIUM GUTTERS BOX DOWNPipes
[11]	150MM SMOOTH PLASTER PLINTH
[12]	LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
[13]	VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
[14]	BLACK SLATE FLAT TILE ON ROOF
[15]	BLACK RIDGE TILE
[16]	HOPPER TO ACCOMMODATE PARAPET DRAINAGE



date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK A
SECTION AA

Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/106	Revision P3	
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
<input type="checkbox"/> Planning		<input type="checkbox"/> Construction	



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK B

PROJECT NO.: 17147

DRAWING NO.: 17147-SK-200

DATE: 02.06.20

SCALE: NTS @ A3

**DEADY
GAHAN**
A R C H I T E C T S

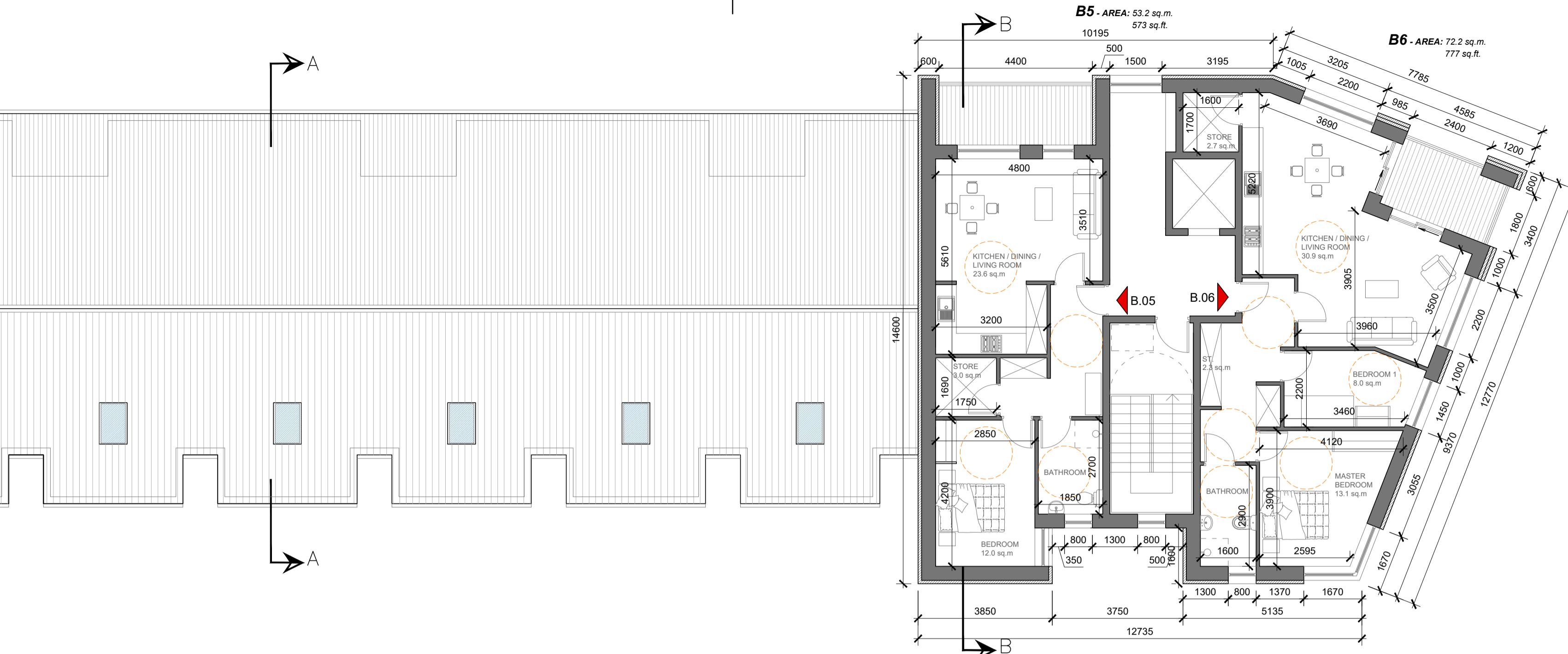
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

A large rectangle is divided into four quadrants by a horizontal line and a vertical line. The top-left quadrant contains a large rectangle with diagonal hatching. The bottom-right quadrant contains a large rectangle with diagonal hatching. The bottom-left and top-right quadrants are white. The entire diagram is set against a background of vertical grid lines.

SECOND FLOOR PLAN - Block B

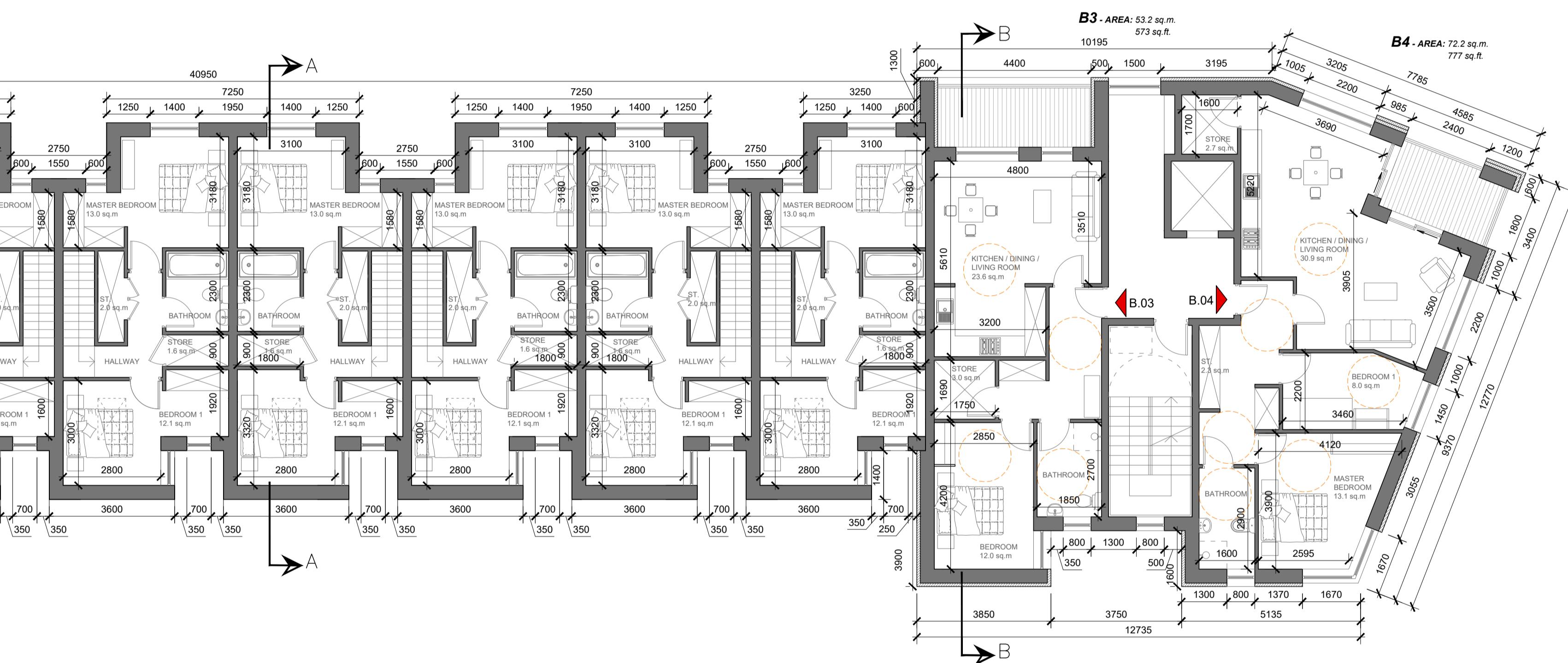
scale 1:100



This architectural floor plan illustrates a large residential building with a total width of 4600 units and a total depth of 10800 units. The building is divided into several wings, each containing a master bedroom, a bathroom, and a store. The plan includes detailed dimensions for rooms and hallways, as well as overall building dimensions. Key features include two master bedrooms, multiple bathrooms, and several stores. The plan is highly detailed with various furniture pieces and structural elements.

FIRST FLOOR PLAN - Block B

scale 1:100



B14 - AREA: 104.0 sq.m. 1120 sq.ft.

B13 - AREA: 84.2 sq.m. 906 sq.ft.

B12 - AREA: 84.2 sq.m. 906 sq.ft.

Overall dimensions: 10800 (width) x 4600 (depth).

B14 Units:

- LIVING ROOM: 16.0 sq.m. (4200 x 3800)
- STORE: 3.3 sq.m. (2200 x 1500)
- KITCHEN / DINING ROOM: 18.0 sq.m. (4100 x 3800)

B13 Units:

- ENTRANCE
- KITCHEN: 11.9 sq.m. (3100 x 1600)
- LIVING / DINING ROOM: 18.8 sq.m. (3850 x 3600)
- W.C. (Water Closet)
- ST. (Storage): 1.1 sq.m. (1900 x 1450)
- ST. (Storage): 1.9 sq.m. (1900 x 1450)

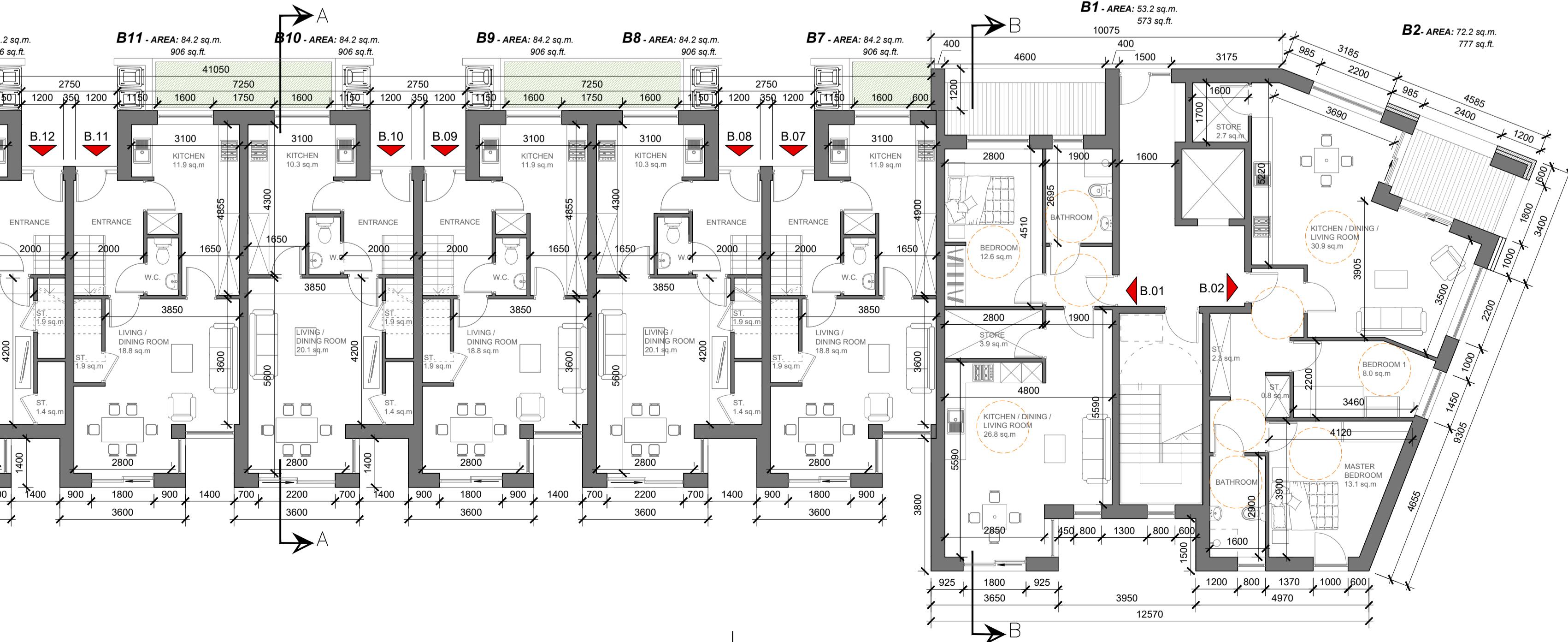
B12 Units:

- KITCHEN: 10.3 sq.m. (3100 x 1600)
- LIVING / DINING ROOM: 20.1 sq.m. (5600 x 3600)
- W.C. (Water Closet)

Key dimensions and furniture placement are indicated throughout the plan.

GROUND FLOOR PLAN - Block B

scale 1:10



date 2.06.20	rev P3	name LM	chk EJG	note ISSUE FOR PLANNING
-----------------	-----------	------------	------------	----------------------------

DEADY GAHAN
ARCHITECTS

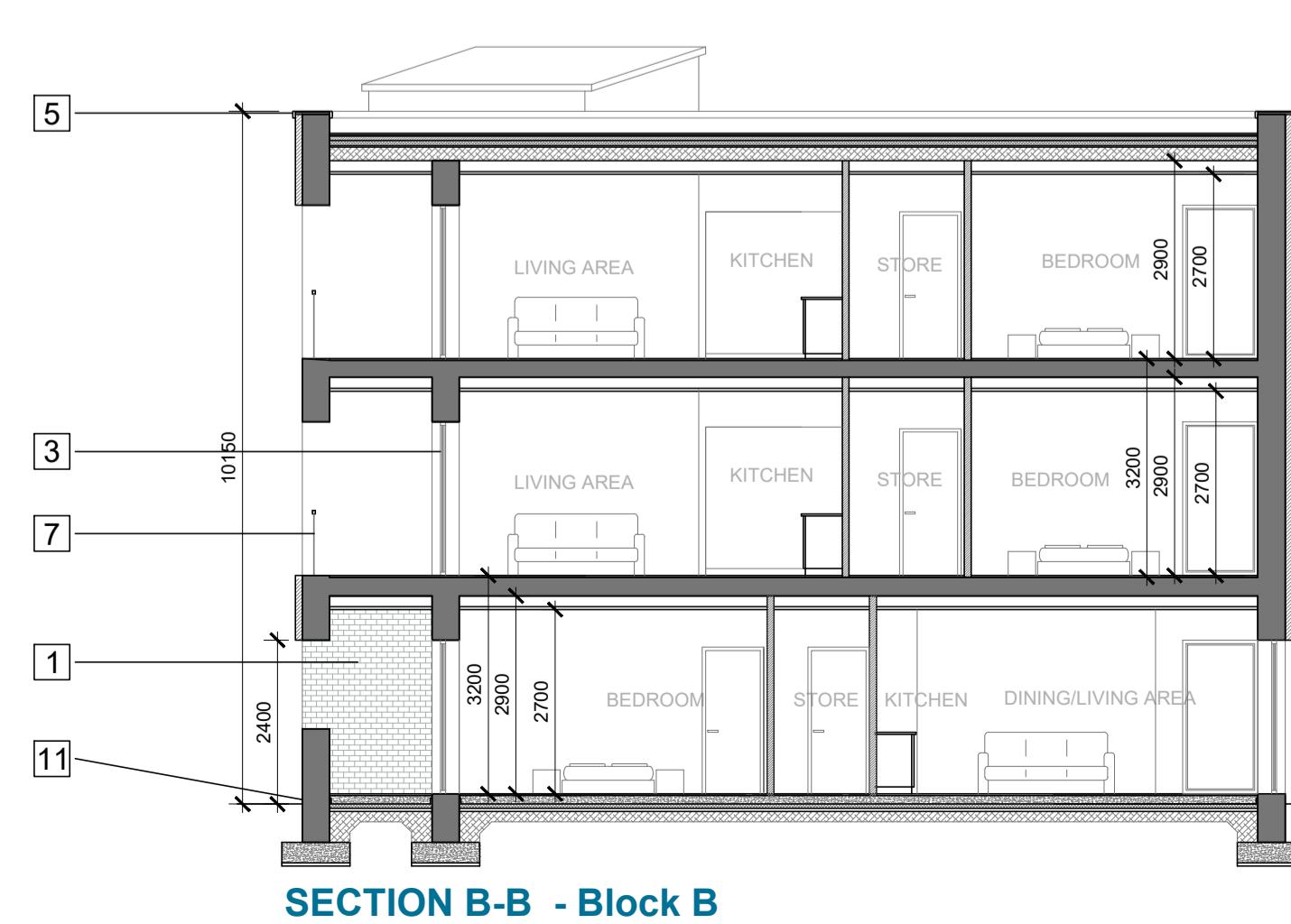
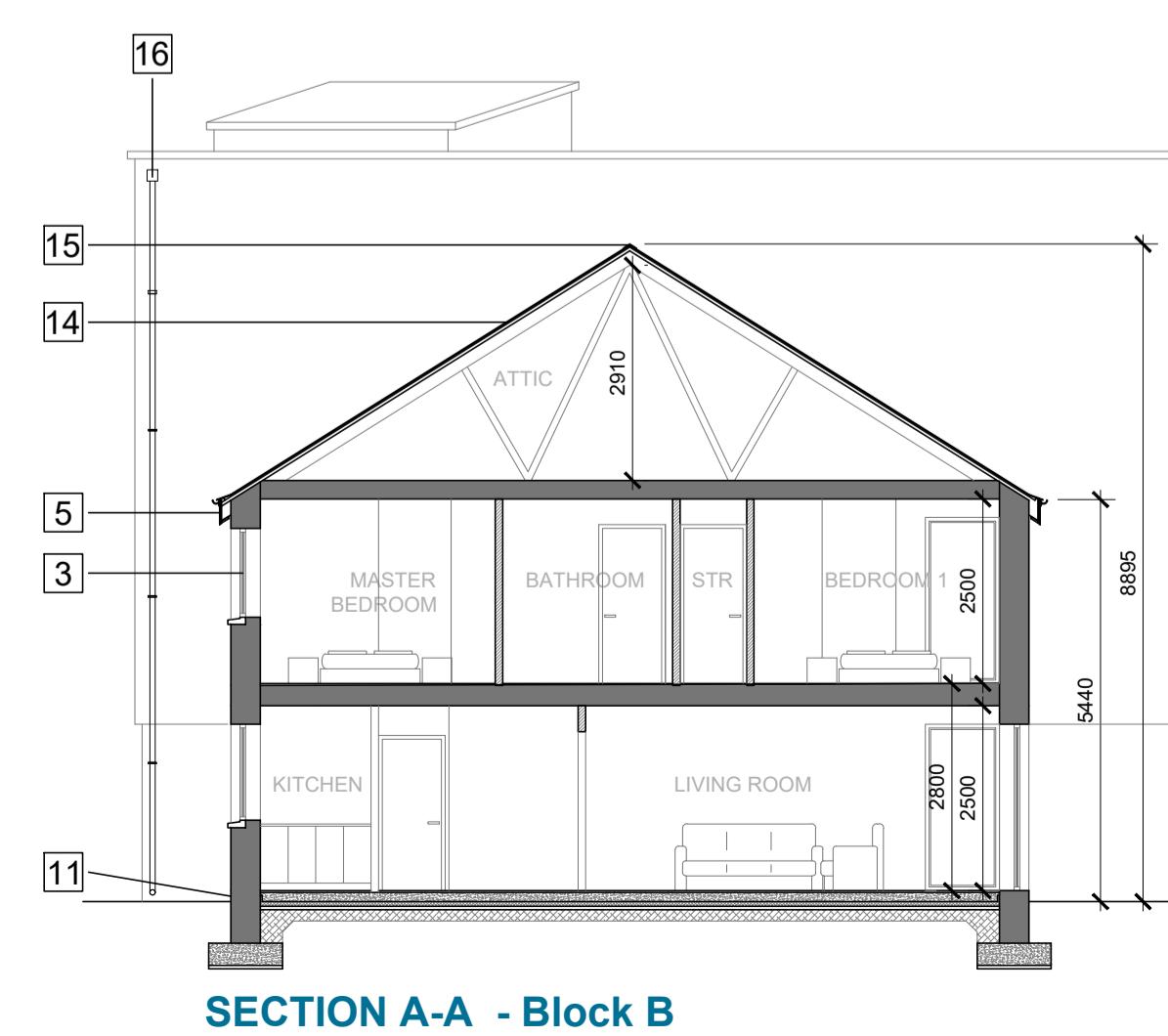
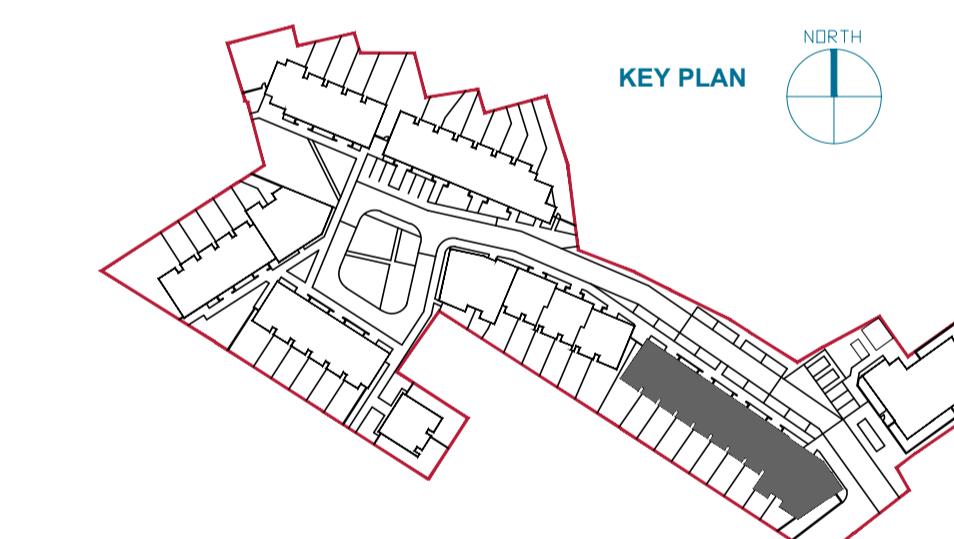
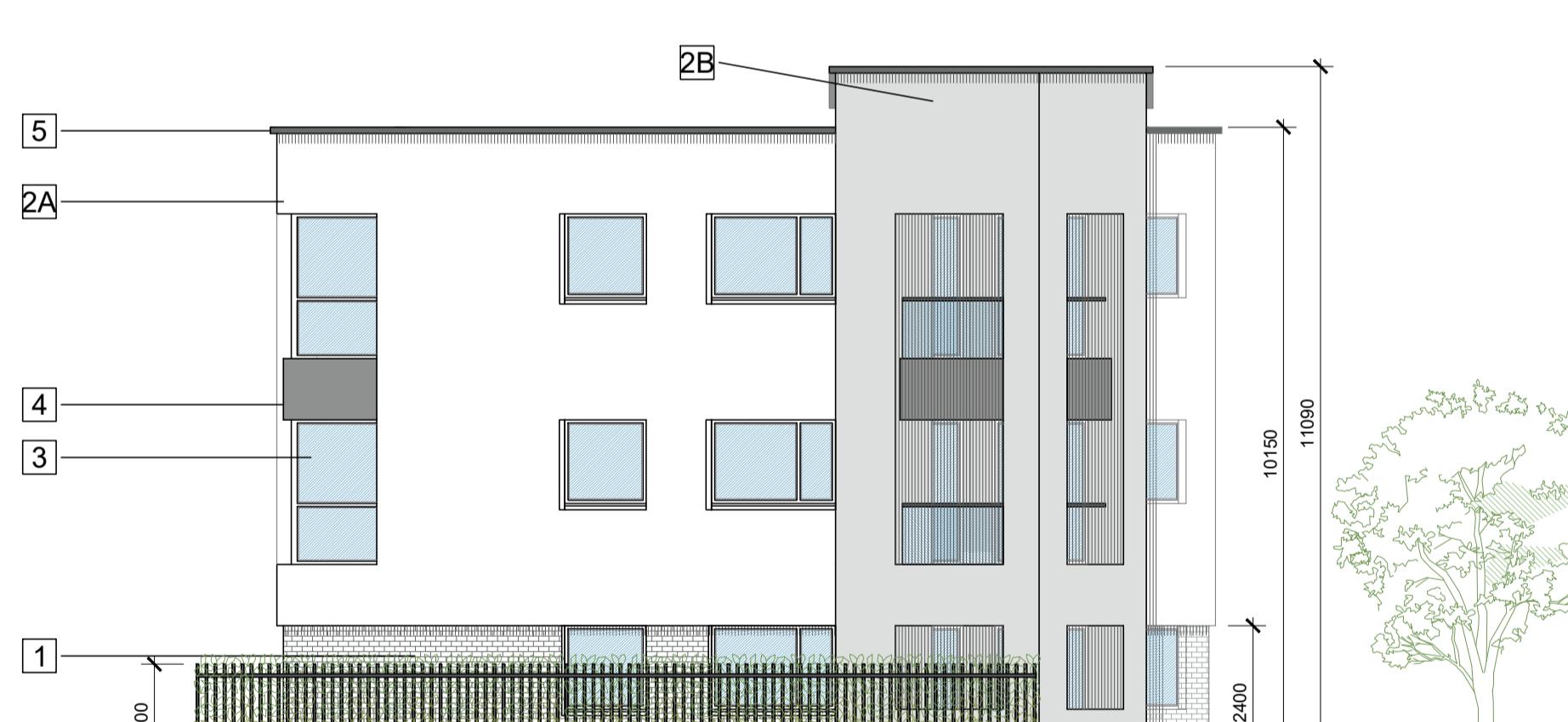
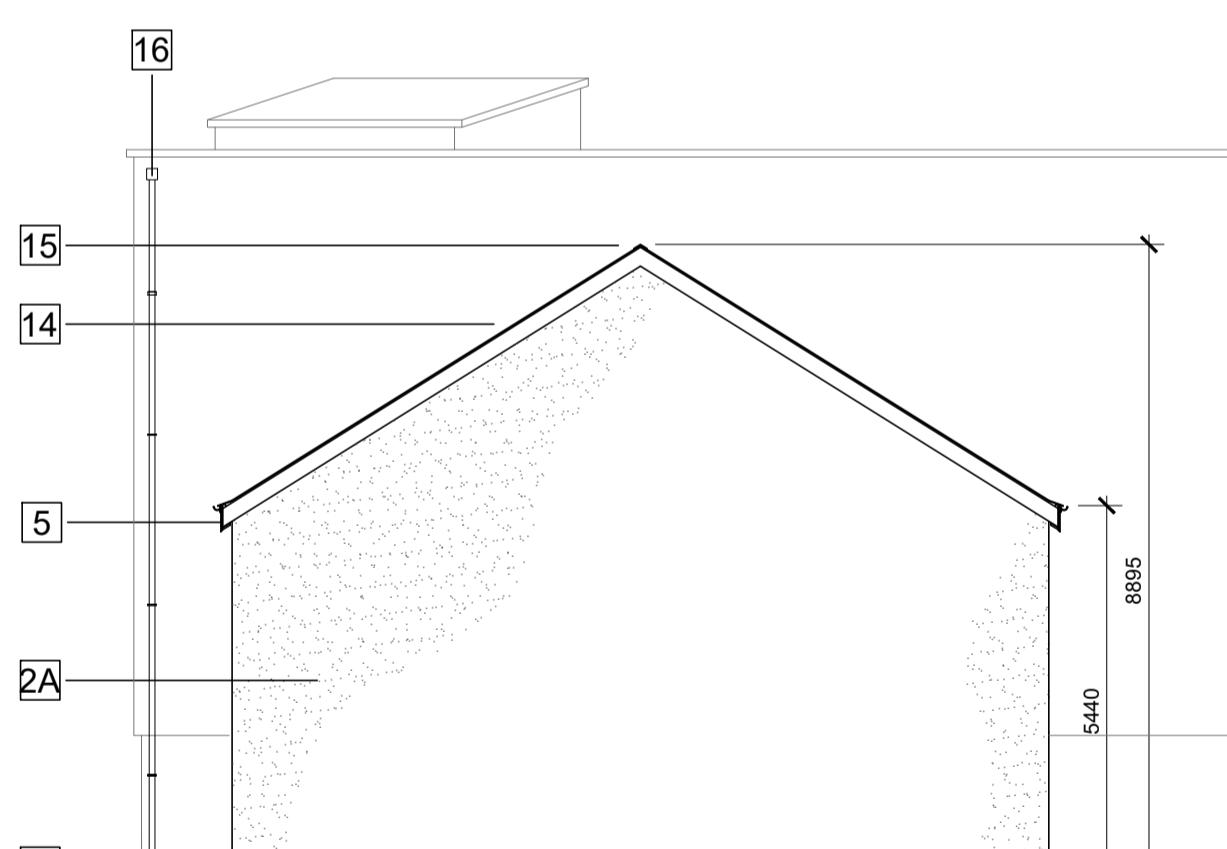
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

DEVELOPMENT AT
HAWKE'S ROAD & BISHOPSTOWN ROAD,
DUBLIN, BISHOPSTOWN, CORK CITY

1ST FLOOR AND SECOND FLOOR PLANS

Drawn AV	Checked EJG	Date 20
Dra. No.		Re

ments



OUTLINE SPECIFICATION NOTES	
1	EXTERNAL WALL: BRICK OUTER-LEAF, GREY IN COLOUR
2A	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
2B	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
3	WINDOWS/DOORS: GREY UPVC ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
4	PRESSING METAL PANEL TO MATCH WINDOW FRAME
5	ROOF PRESSED METAL FASCIA, GREY IN COLOUR
6	PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
7	GUARDING: GALVANISED STEEL RAILING WITH TOUGHENED GLASS INSERTS
8	CONCRETE POST AND TIMBER INFILL PANELS
9	UPVC TIMBER FRONT DOOR
10	ALUMINIUM GUTTER BOX DOWNPPIPES
11	150MM SMOOTH PLASTER PLINTH
12	LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
13	VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
14	BLACK SLATE FLAT TILE ON ROOF
15	BLACK RIDGE TILE
16	HOPPER TO ACCOMMODATE PARAPET DRAINAGE

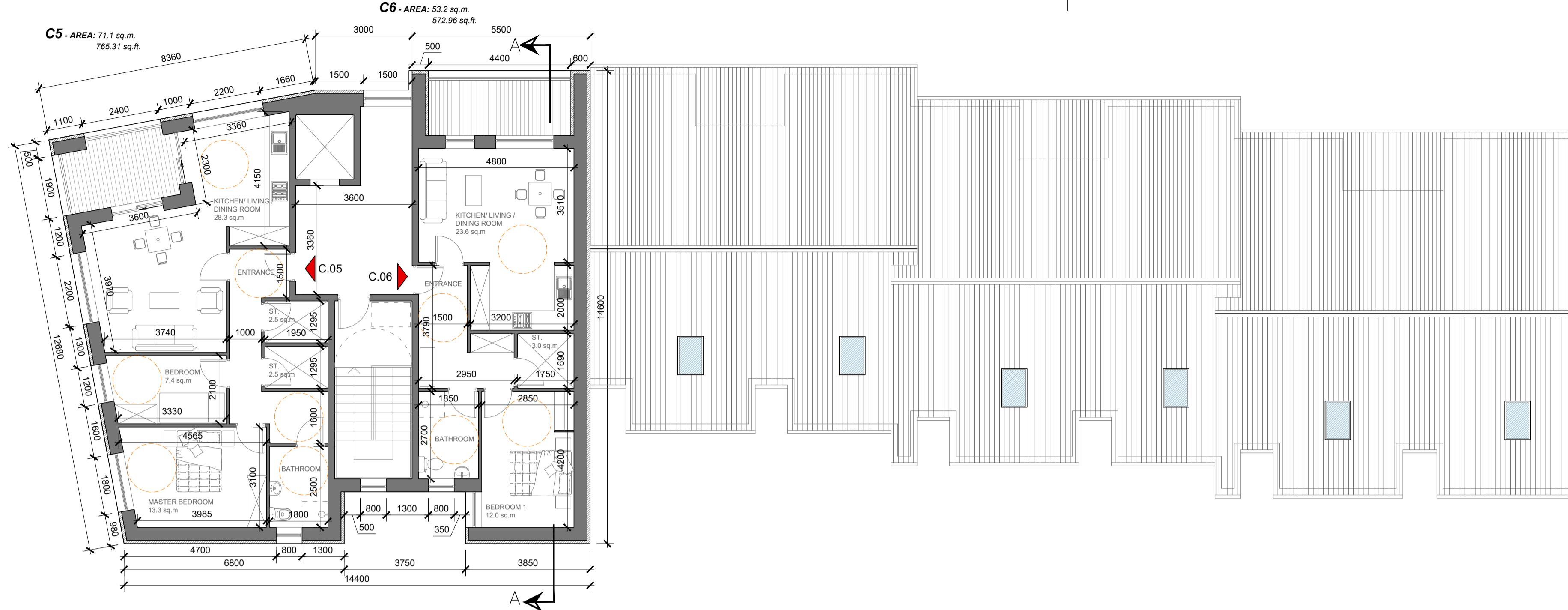
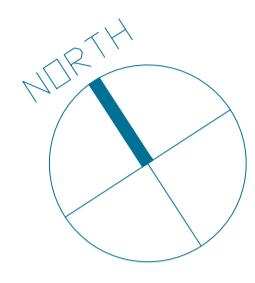
date	02.06.20	rev	P3	name	LM	chk	EJG	note	ISSUE FOR PLANNING
DEADY GAHAN ARCHITECTS									
Eastgate Village, Little Island, Cork Tel: 021 4355019, Fax: 021 4355330 Email: info@dgarchitects.ie									
Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY									
Drawing title BLOCK B									
ELEVATIONS AND SECTIONS									
Scale	1:100 @ A1	Drawn	AV	Checked	EJG	Date	2018.02.26		
Project No.	17147	Org. No.	17147/P202	Revision	P3				
<input type="checkbox"/> Information \ Comments <input checked="" type="checkbox"/> Planning				<input type="checkbox"/> Tender <input type="checkbox"/> Construction					



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City- BLOCK C
PROJECT NO.: 17147
DRAWING NO.: 17147-SK-300
DATE: 02.06.20
SCALE: NTS @ A3

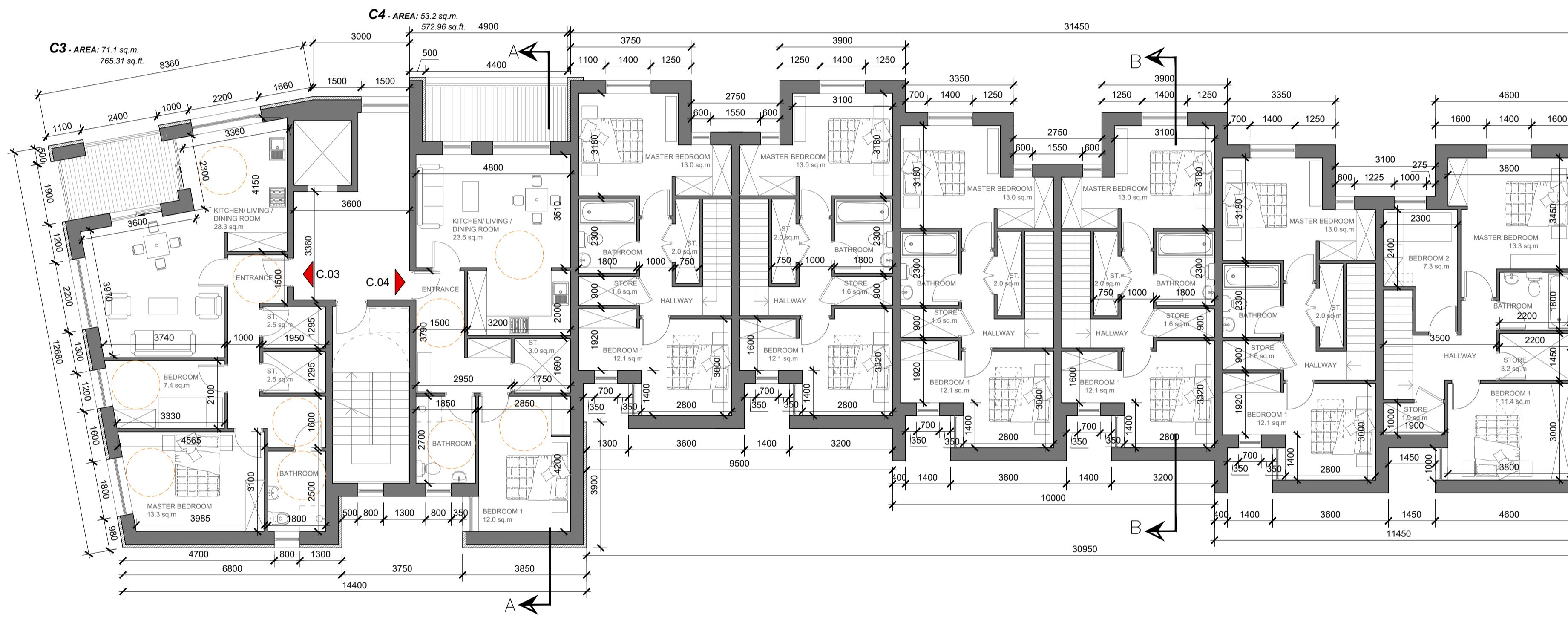
DEADY
GAHAN
A R C H I T E C T S

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



SECOND FLOOR PLAN - Block C

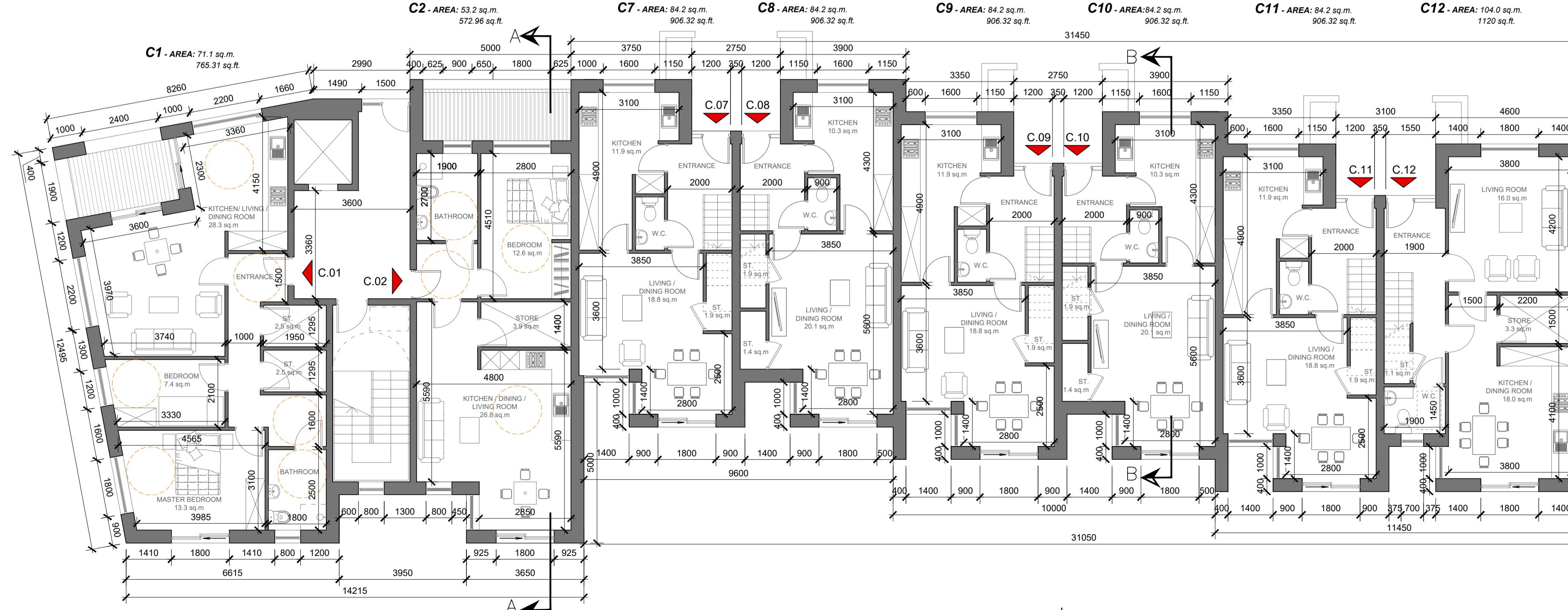
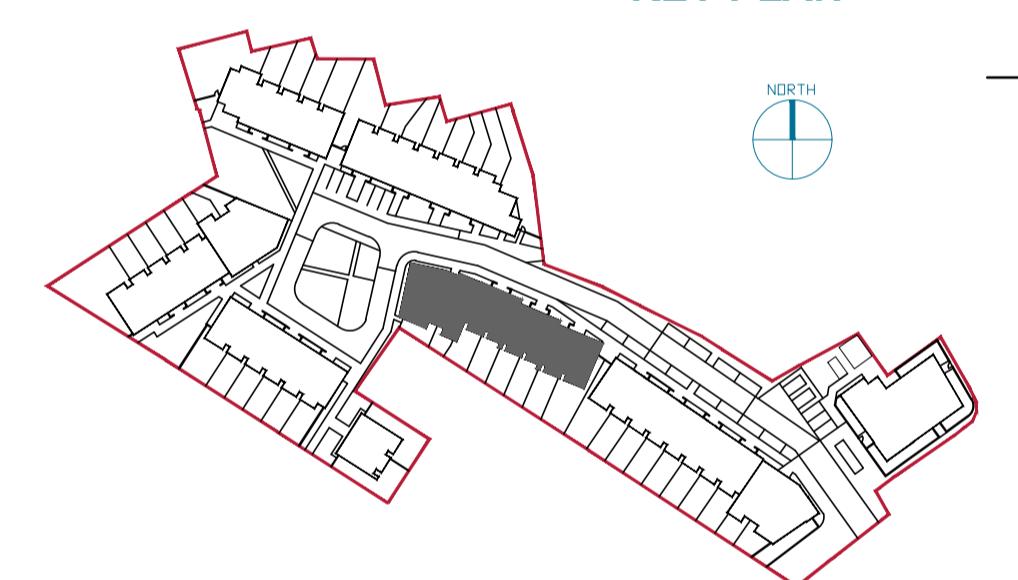
scale 1:100



FIRST FLOOR PLAN - Block C

scale 1:100

KEY PLAN



GROUND FLOOR PLAN - Block C

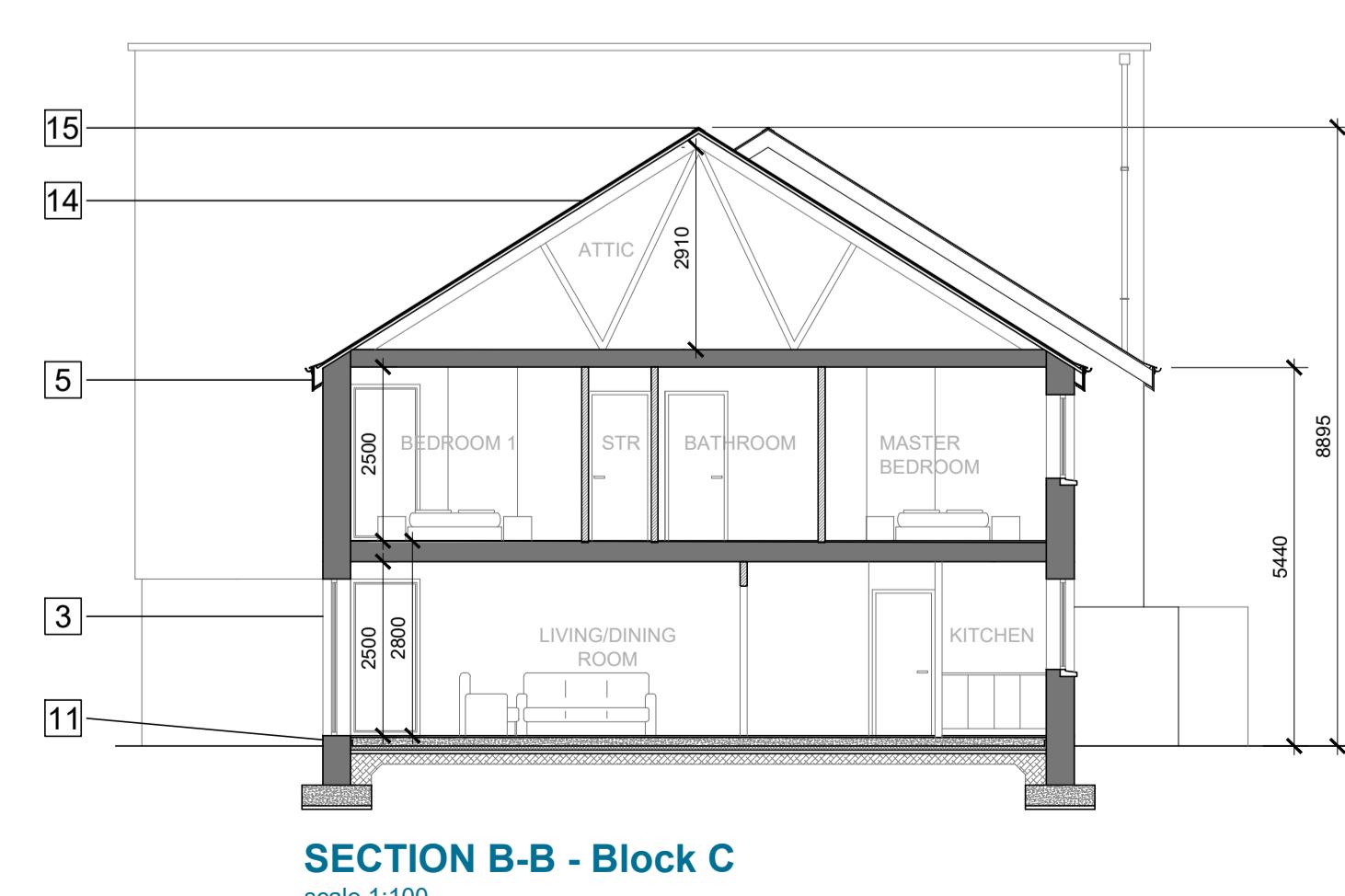
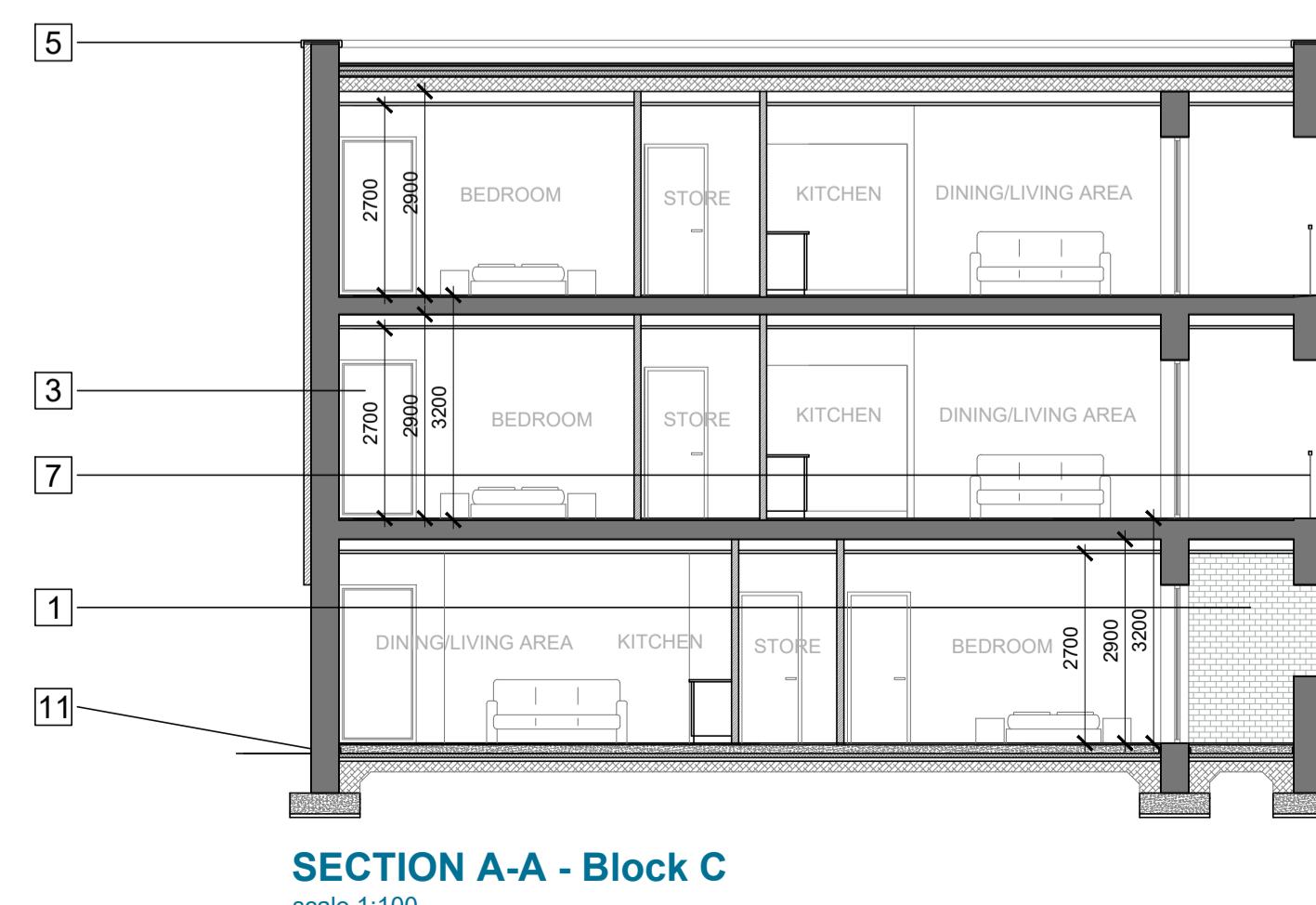
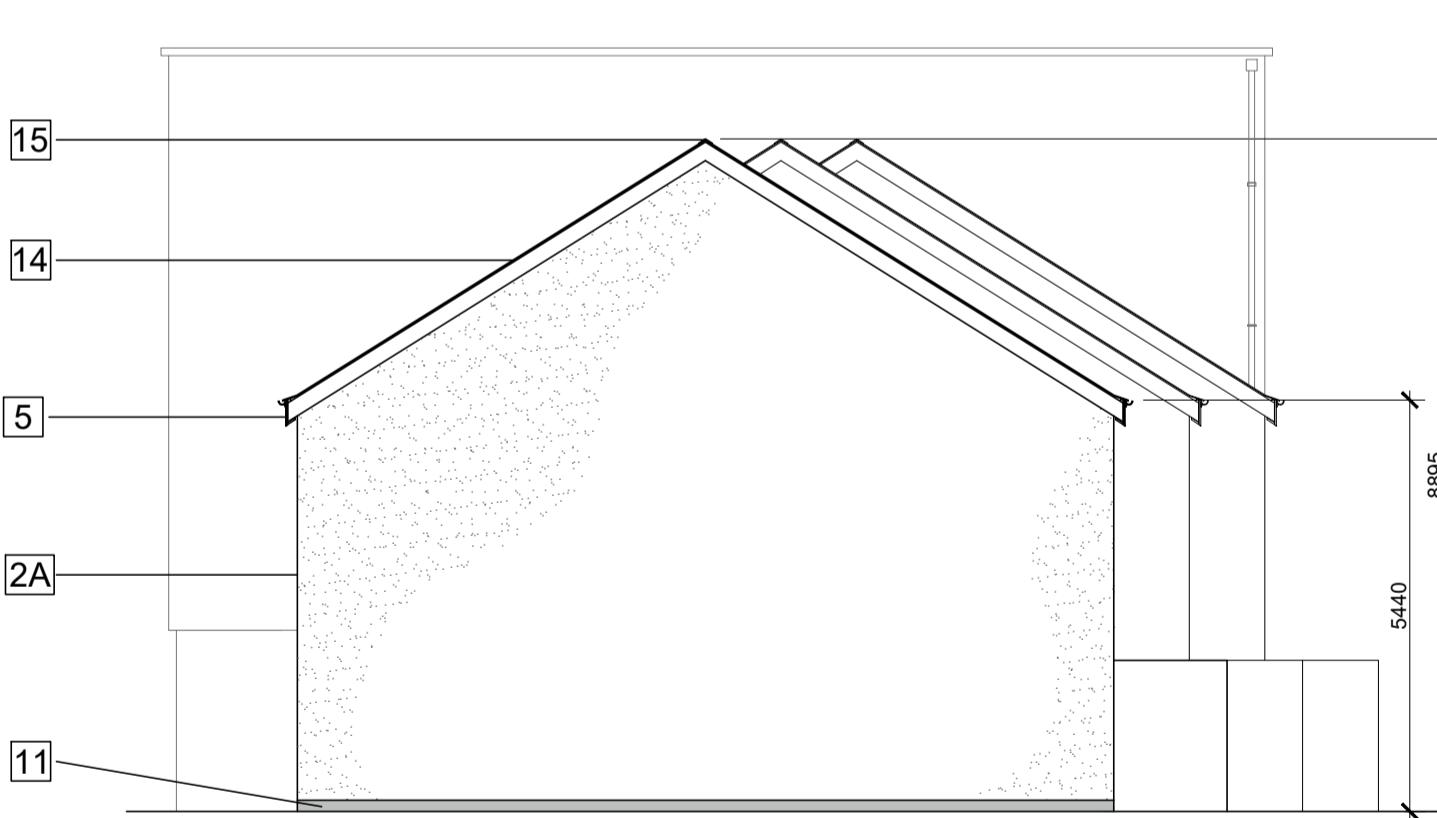
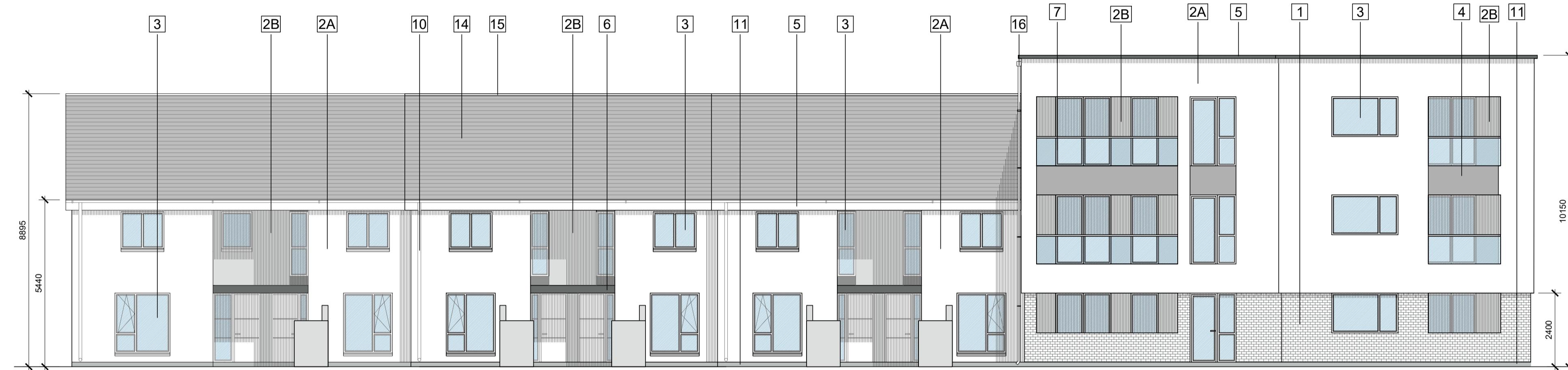
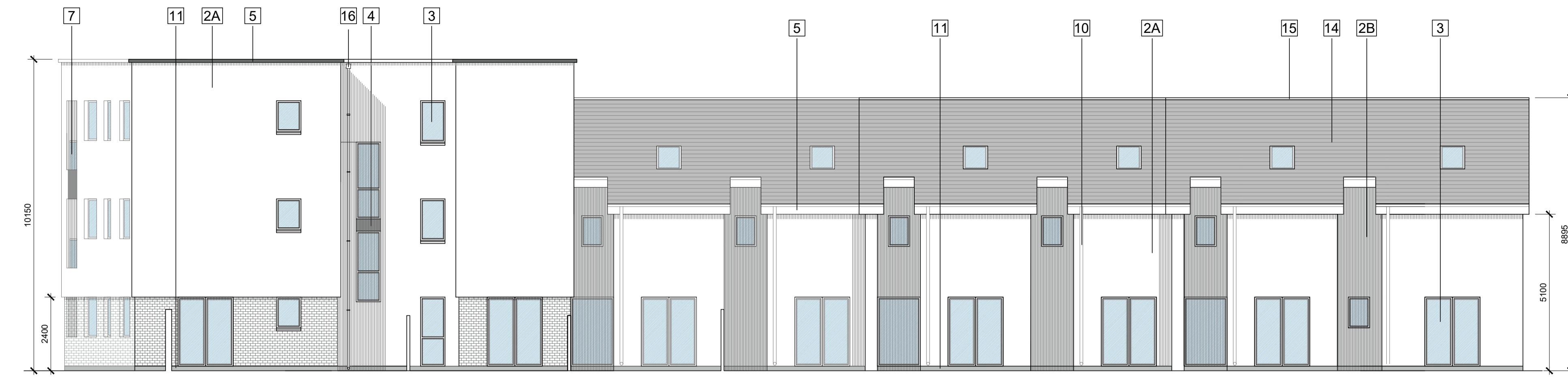
scale 1:100

date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project
 RESIDENTIAL DEVELOPMENT AT
 THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
 BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

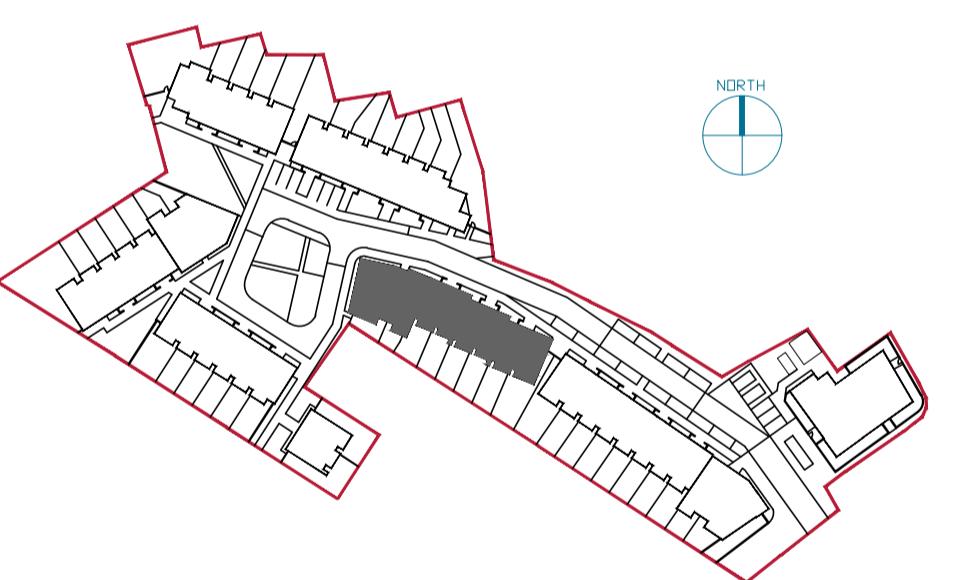
Drawing title			
BLOCK C			
GROUND FLOOR, FIRST FLOOR AND SECOND FLOOR PLANS			
Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.09.27
Project No. 17147	Org. No. 17147/P/301		Revision P3
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	
<input checked="" type="checkbox"/> Planning		<input type="checkbox"/> Construction	



OUTLINE SPECIFICATION NOTES	
1	EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
2A	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
2B	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
3	WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
4	PRESSING METAL PANEL TO MATCH WINDOW FRAME
5	ROOF PRESSED METAL FASCIA, GREY IN COLOUR
6	PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
7	GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
8	CONCRETE POST AND TIMBER INFILL PANELS
9	uPVC TIMBER FRONT DOOR
10	ALUMINIUM GUTTERS BOX DOWNPPIPES
11	150MM SMOOTH PLASTER PLINTH
12	LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
13	VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
14	BLACK SLATE FLAT TILE ON ROOF
15	BLACK RIDGE TILE
16	HOPPER TO ACCOMMODATE PARAPET DRAINAGE

date 02.06.20	rev P3	name LM	chk EJG	note ISSUE FOR PLANNING
<p>DEADY GAHAN ARCHITECTS</p> <p>Eastgate Village, Little Island, Cork Tel: 021 4355019, Fax: 021 4355330 Email: info@dgarchitects.ie</p>				
Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY				
Drawing title BLOCK C ELEVATIONS AND SECTIONS				
Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.09.27	
Project No. 17147	Org. No. 17147/P/302		Revision P3	
<input type="checkbox"/> Information \ Comments		Tender <input type="checkbox"/>		
<input type="checkbox"/> Planning		Construction <input type="checkbox"/>		

KEY PLAN





Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City- BLOCK D

PROJECT NO.: 17147

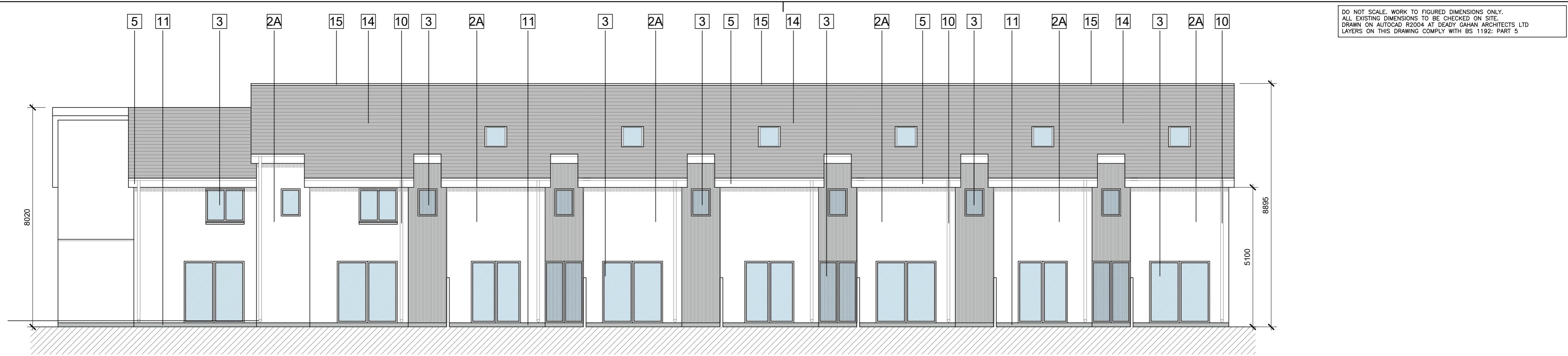
DRAWING NO.: 17147-SK-400

DATE: 02.06.20

SCALE: NTS @ A3

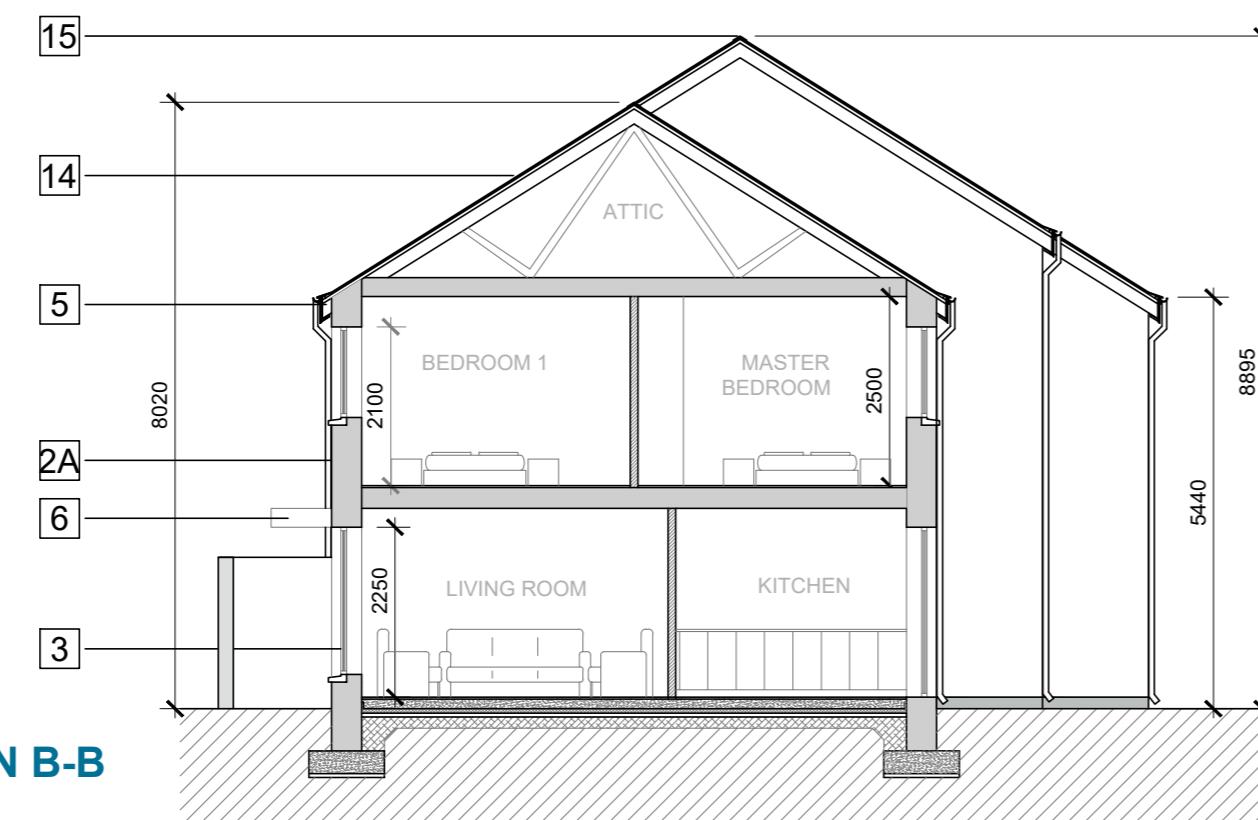
DEADY
GAHAN
A R C H I T E C T S

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



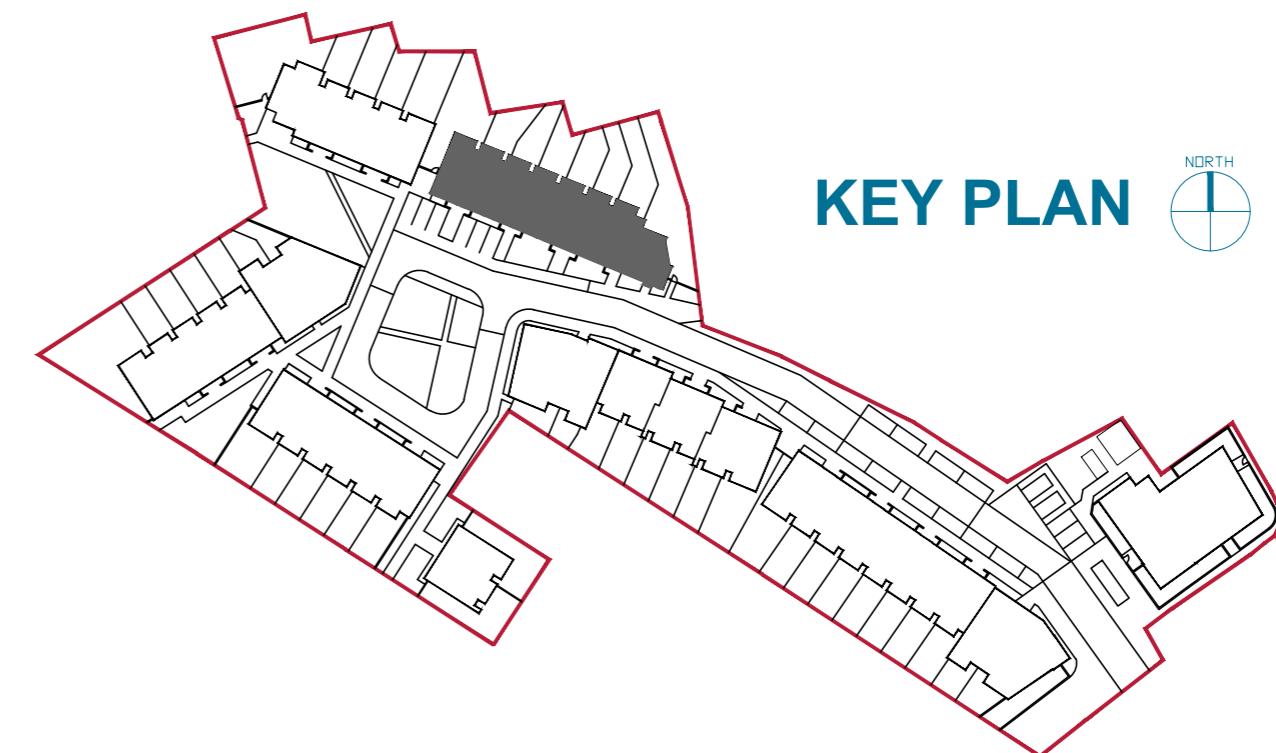
NORTH ELEVATION

scale 1:100

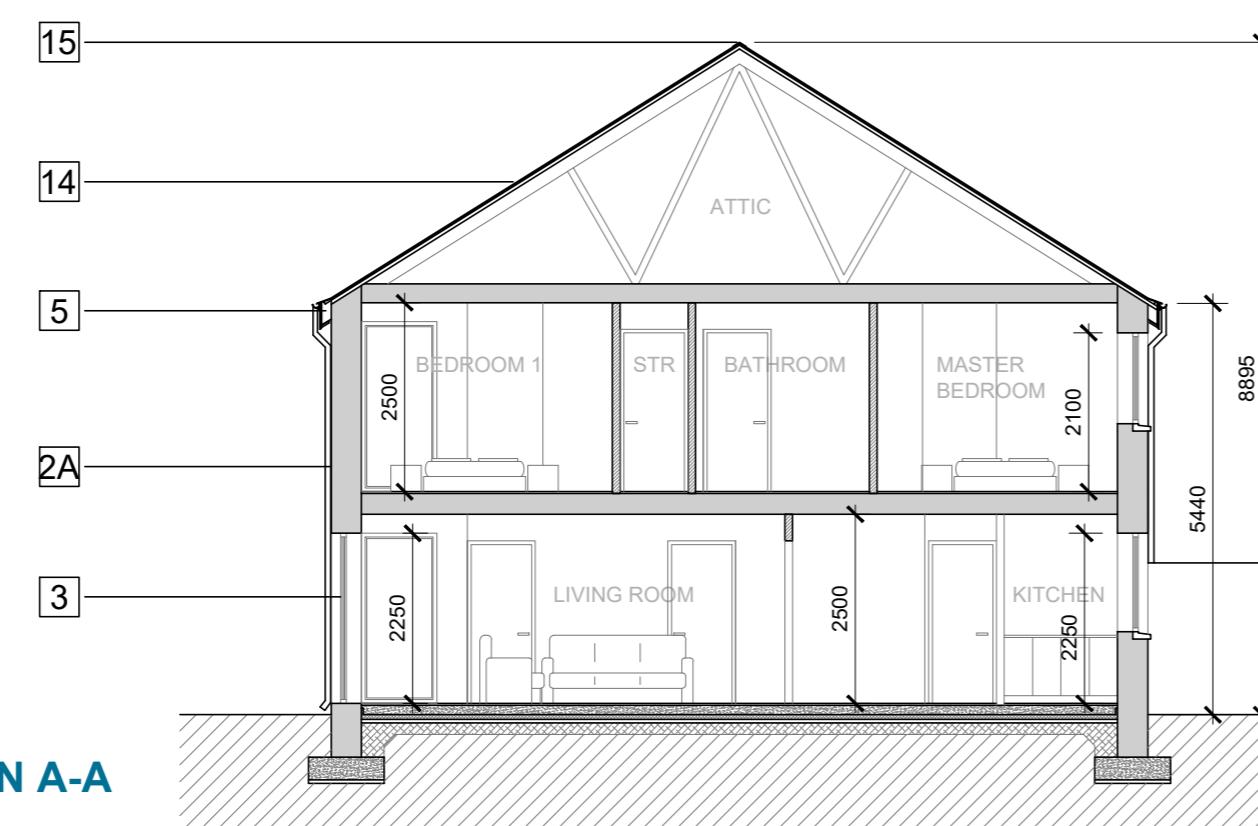


SECTION B-B

scale 1:100



KEY PLAN



SECTION A-A

scale 1:100

OUTLINE SPECIFICATION NOTES

- 1 EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 WINDOWS/DOORS: GREY U PVC / ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 ROOF PRESSING METAL FASCIA, GREY IN COLOUR
- 6 PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 CONCRETE POST AND TIMBER INFILL PANELS
- 9 uPVC TIMBER FRONT DOOR
- 10 ALUMINIUM GUTTERS BOX DOWNPipes
- 11 150MM SMOOTH PLASTER PLINTH
- 12 LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 BLACK SLATE FLAT TILE ON ROOF
- 15 BLACK RIDGE TILE

DO NOT SCALE WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title			
BLOCK D			
NORTH ELEVATION AND SECTIONS A-A & B-B			
Scale 1:100 @ A2	Drawn AV	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/402		Revision P3
<input type="checkbox"/> Information \ Comments		<input type="checkbox"/> Tender	<input type="checkbox"/>
<input type="checkbox"/> Planning		<input type="checkbox"/> Construction	<input type="checkbox"/>



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK E

PROJECT NO.: 17147

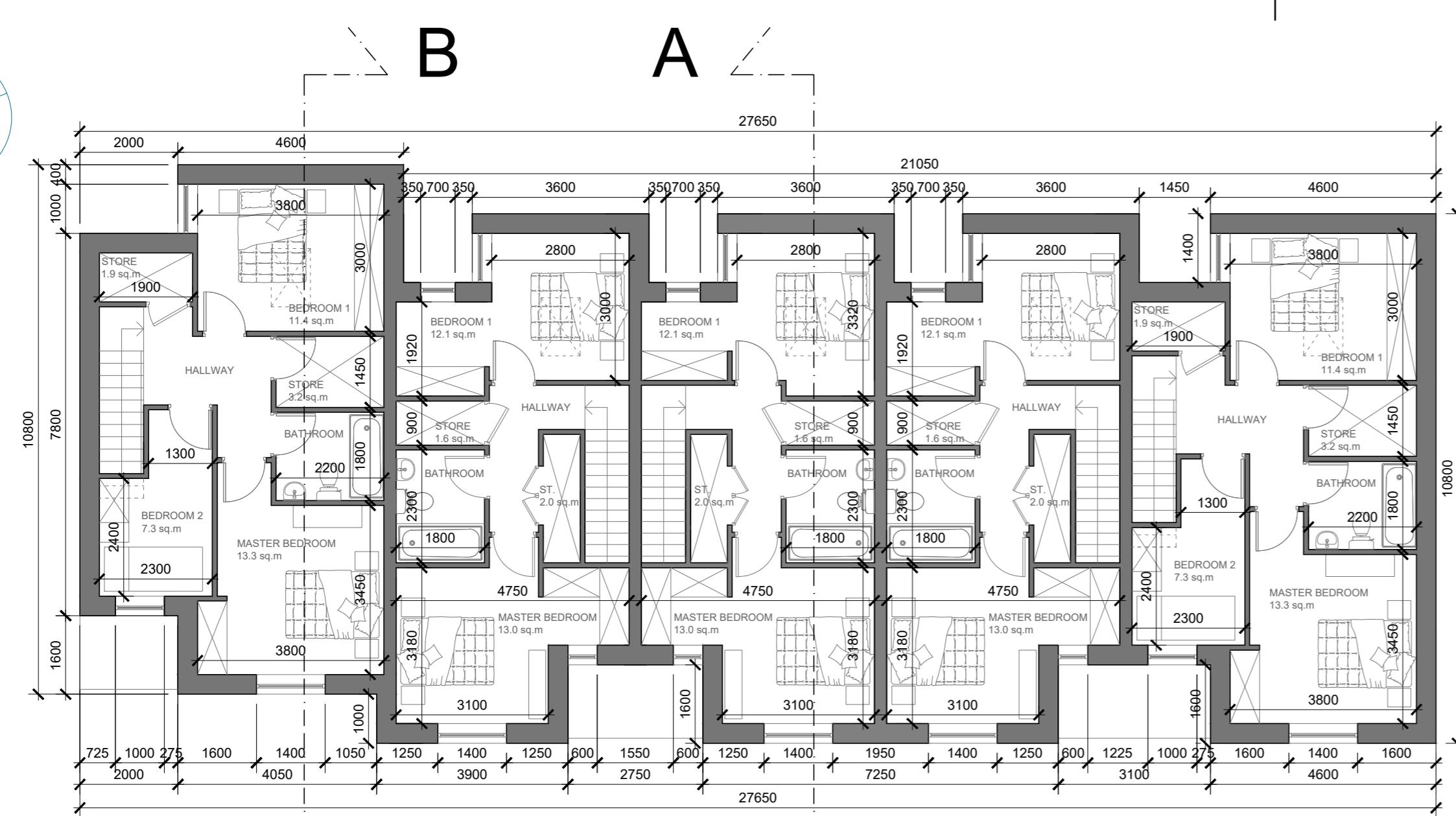
DRAWING NO.: 17147-SK-500

DATE: 02.06.20

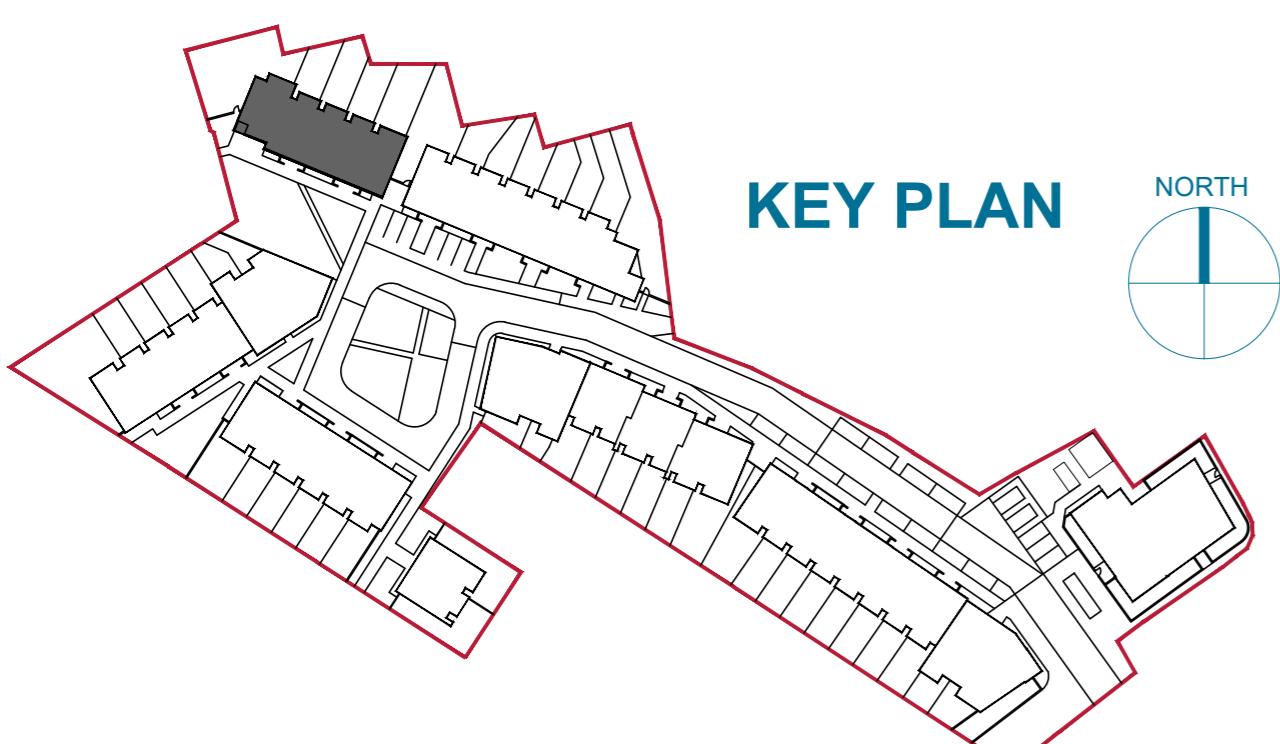
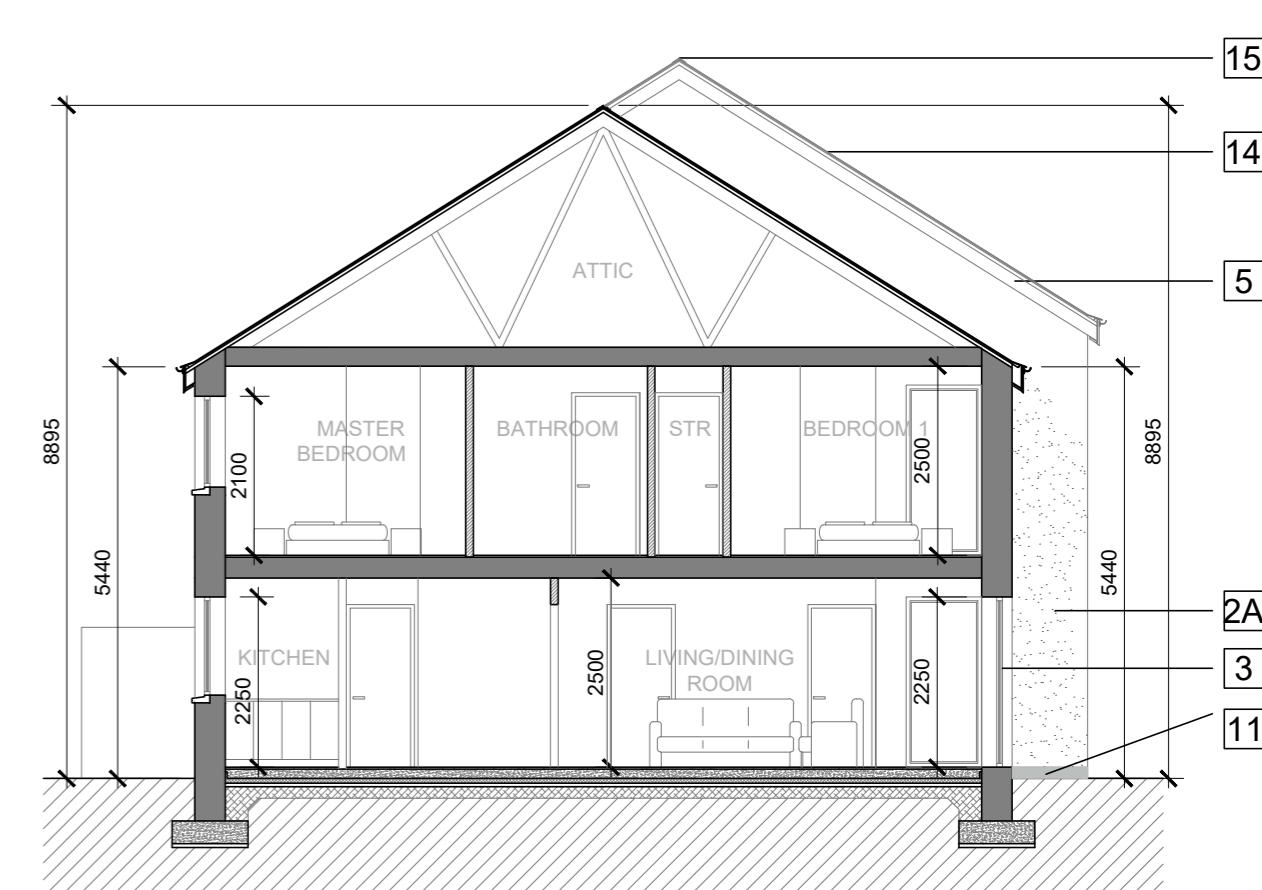
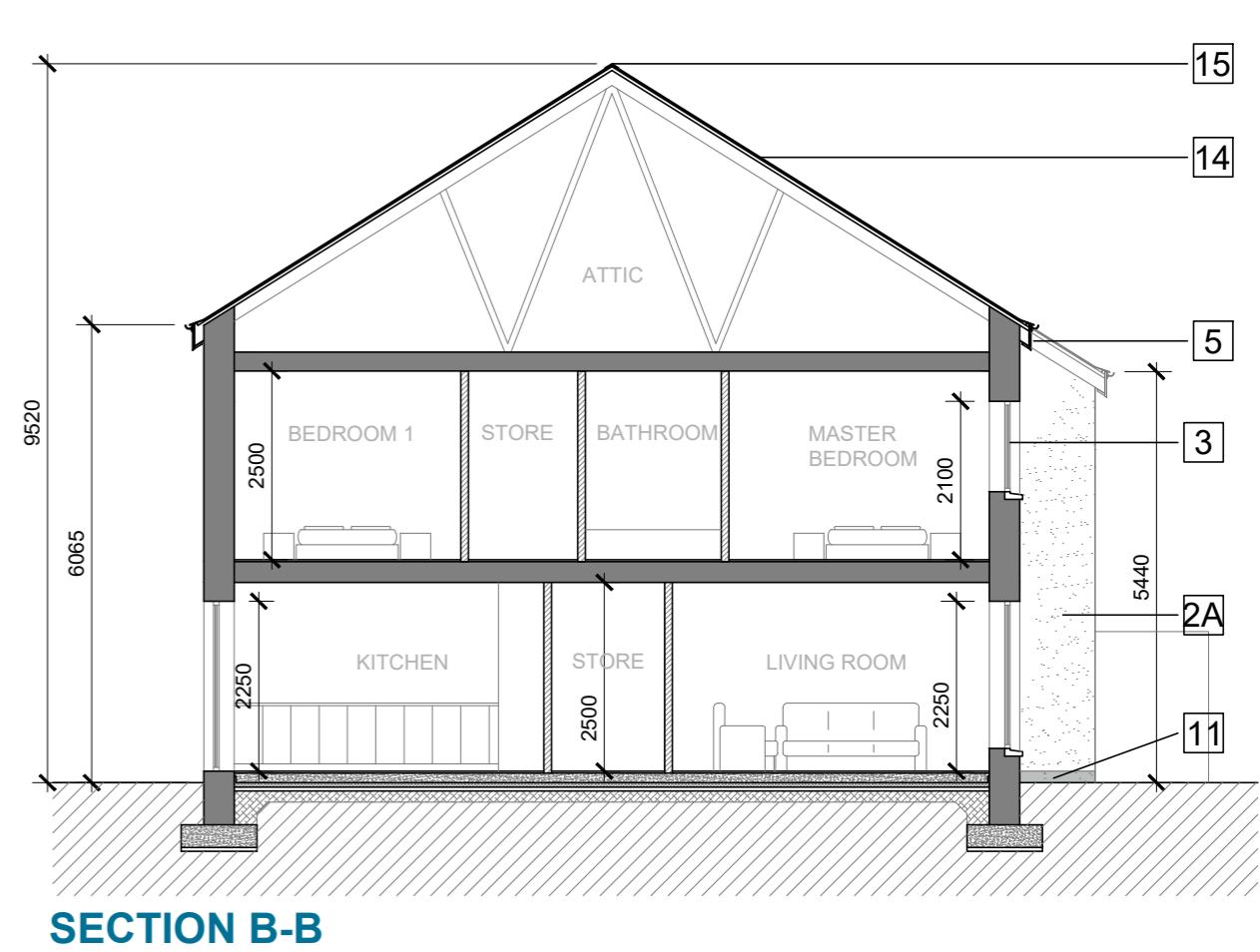
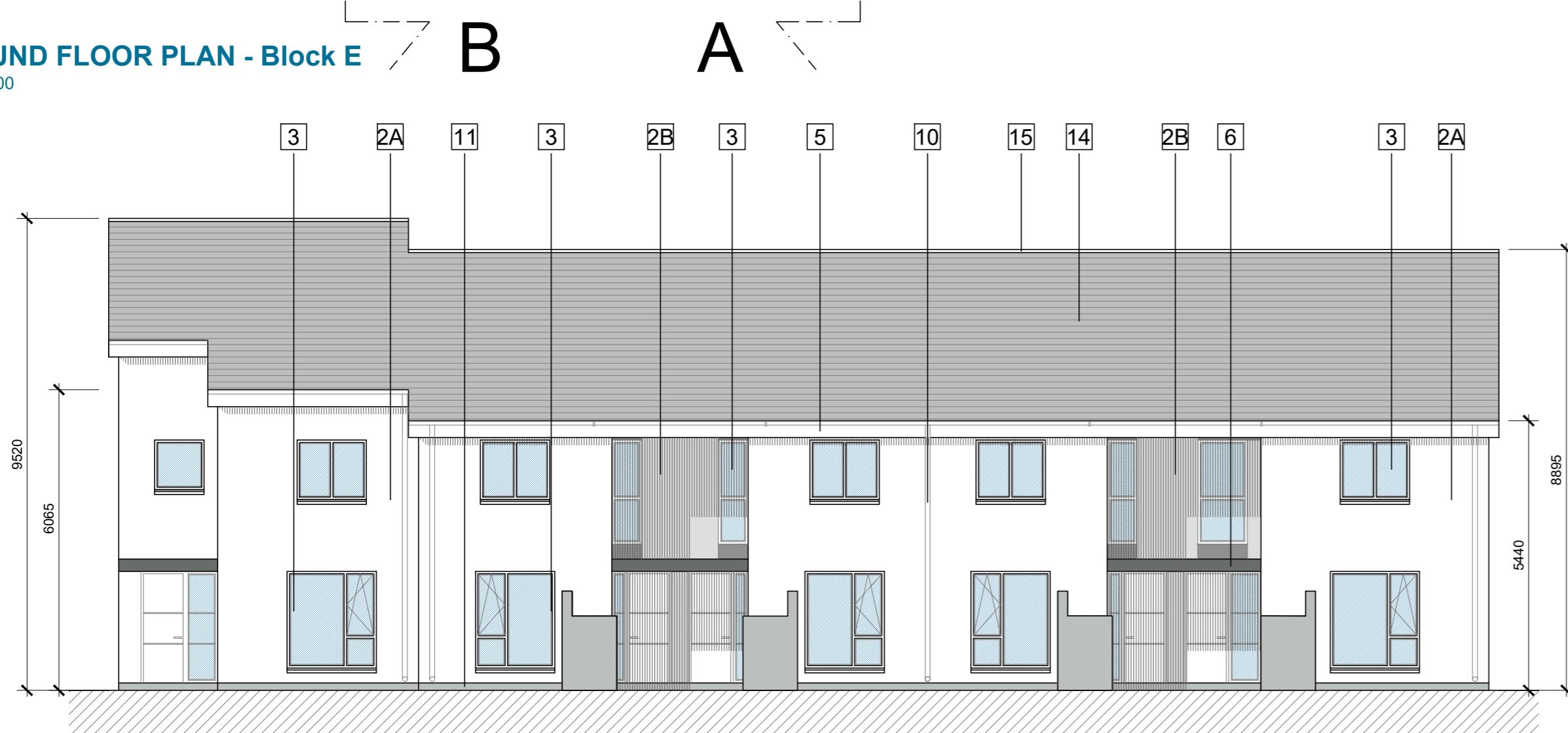
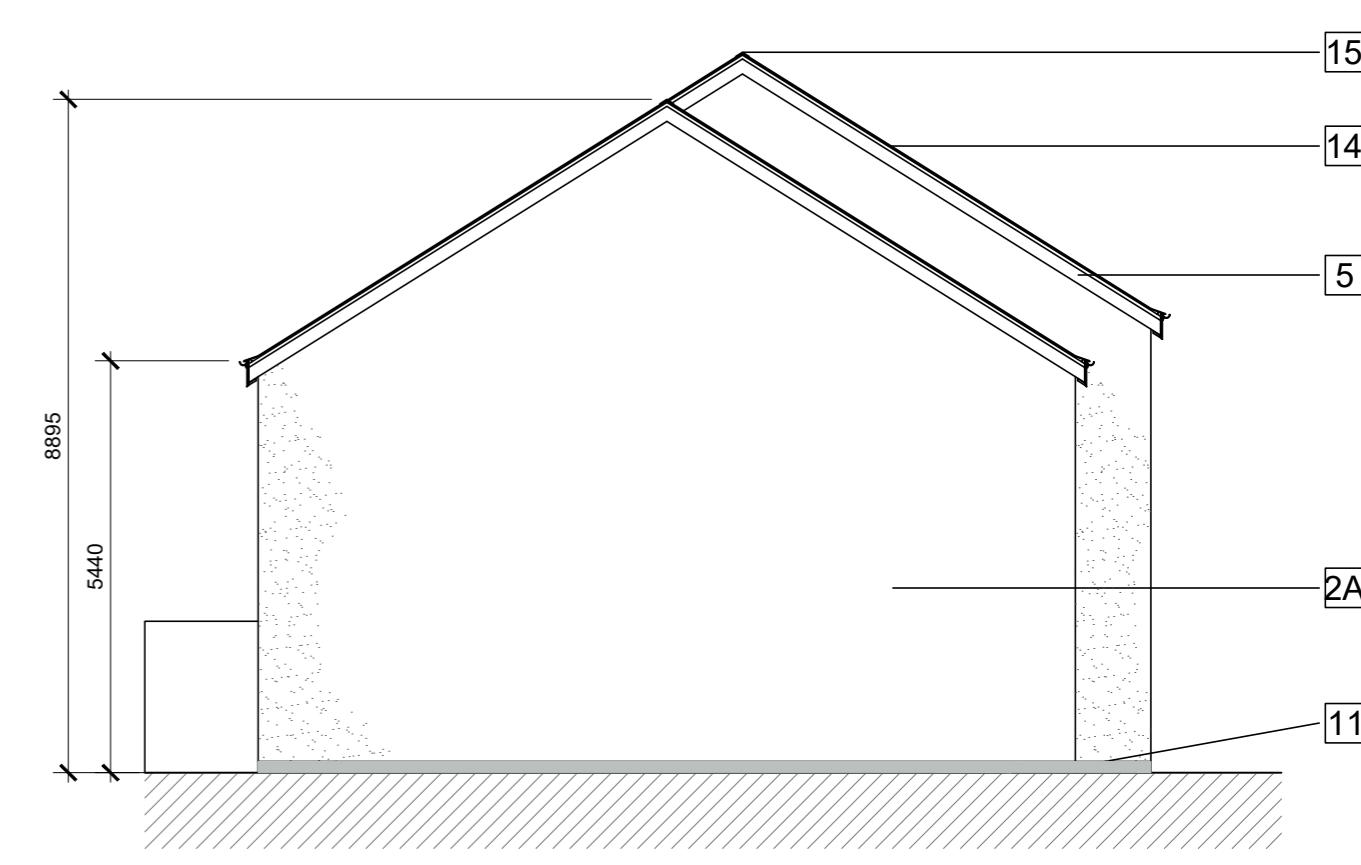
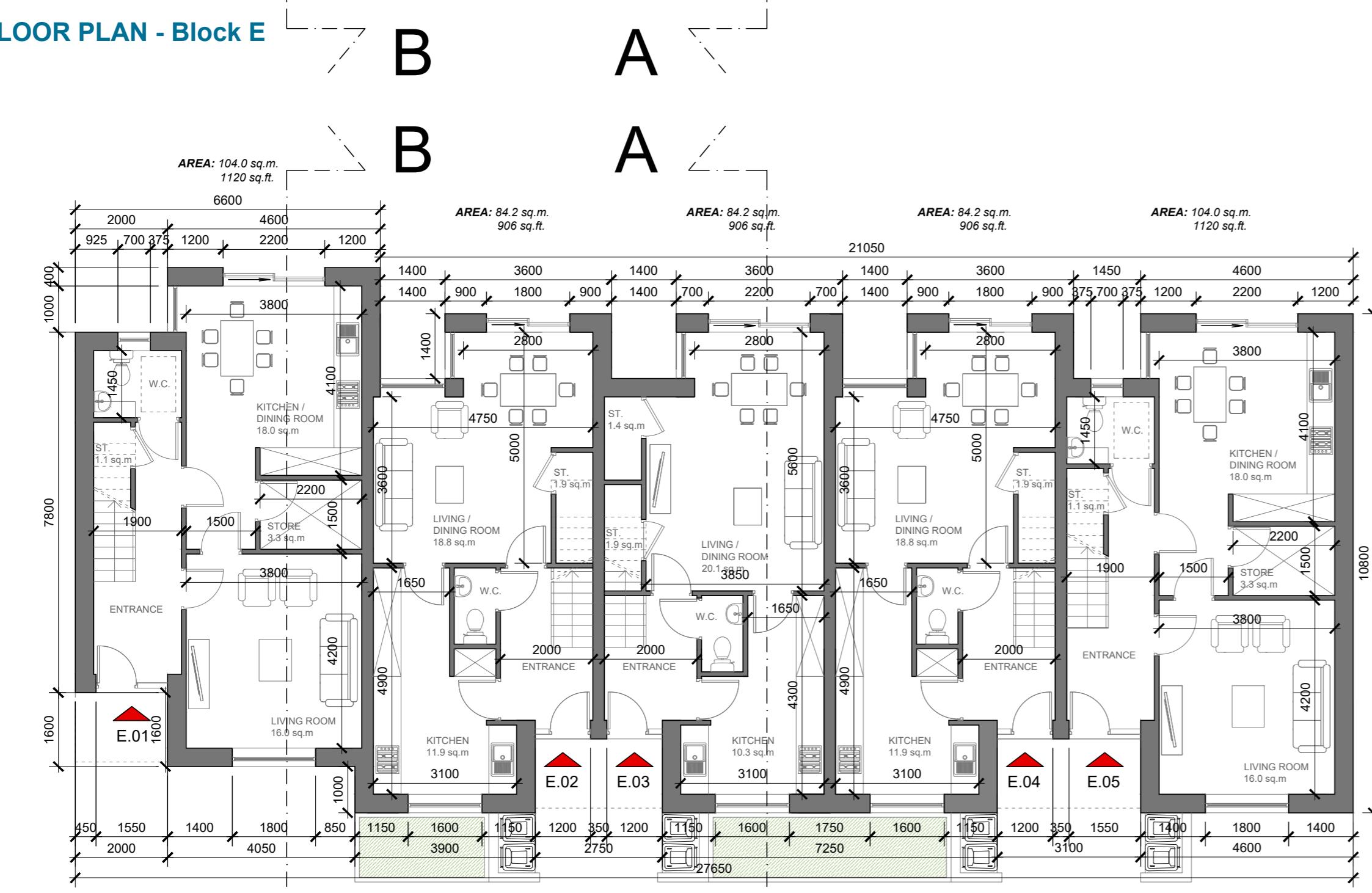
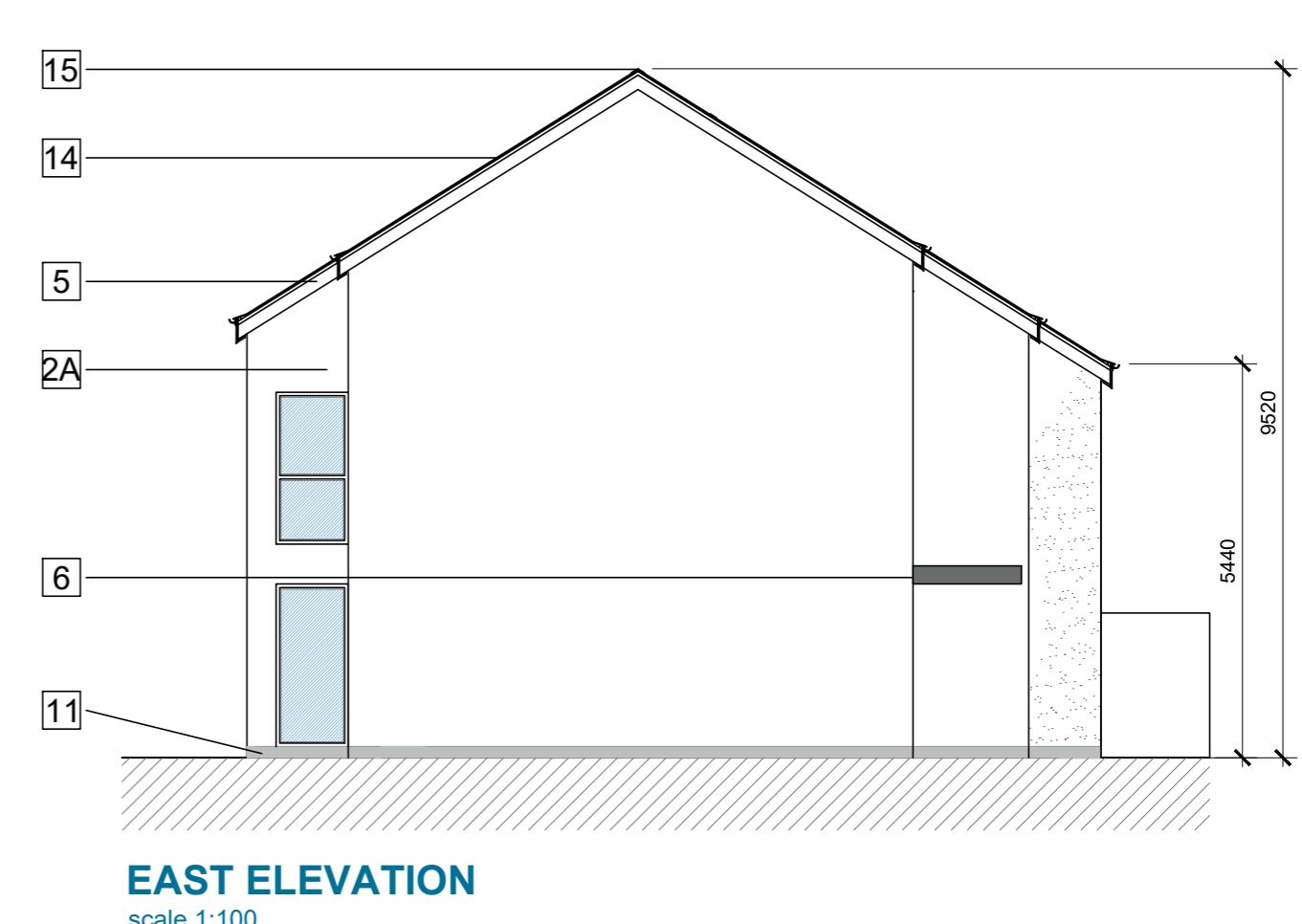
SCALE: NTS @ A3

DEADY
GAHAN
A R C H I T E C T S

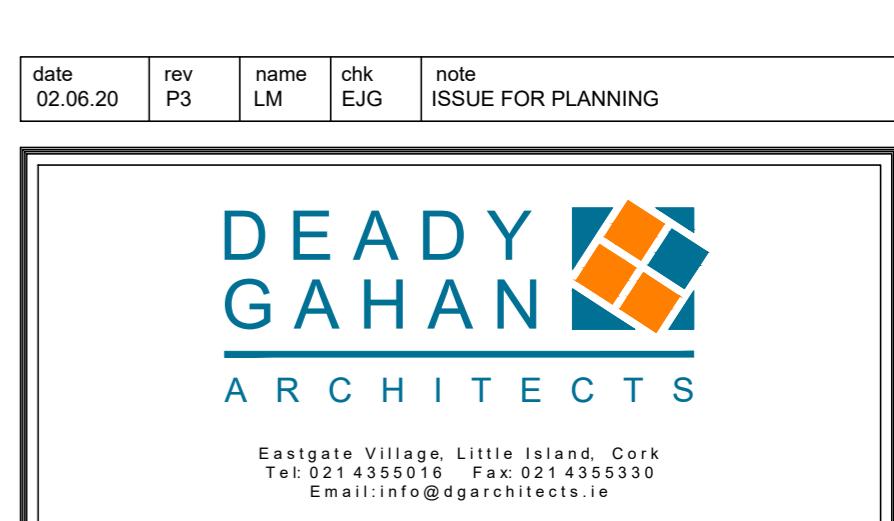
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



OUTLINE SPECIFICATION NOTES					
1	External wall: Brick outer - leaf, grey in colour				
2A	External wall: Smooth plaster finish, colour off-white				
2B	External wall: Smooth plaster finish, colour grey				
3	Windows/doors: Grey uPVC/Aluminium framed windows, doubled glazed				
4	Pressing metal panel to match window frame				
5	Roof pressed metal fascia, grey in colour				
6	Pressed metal canopy to entrance doors, grey in colour				
7	Guarding: Galvanised steel handrail with toughened glass inserts				
8	Concrete post and timber infill panels				
9	uPVC timber front door				
10	Aluminium gutters box downpipes				
11	150mm smooth plaster plinth				
12	Low rise concrete block boundary wall with a brick outer leaf, grey in colour				
13	Vertical steel railing with a powder coated finish				
14	Black slate flat tile on roof				
15	Black ridge tile				



Project	RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKES ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY		
Drawing title	BLOCK E GROUND FLOOR, FIRST FLOOR, ELEVATIONS AND SECTIONS		
Scale	1:100 @ A1	Drawn	Checked
	AV	E.J.G.	Date
Project No.	Drg. No.		2018.02.26
17147	17147/P/501		
Information Comments		Tender	
Planning		Construction	



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown, Cork City - BLOCK F

PROJECT NO.: 17147

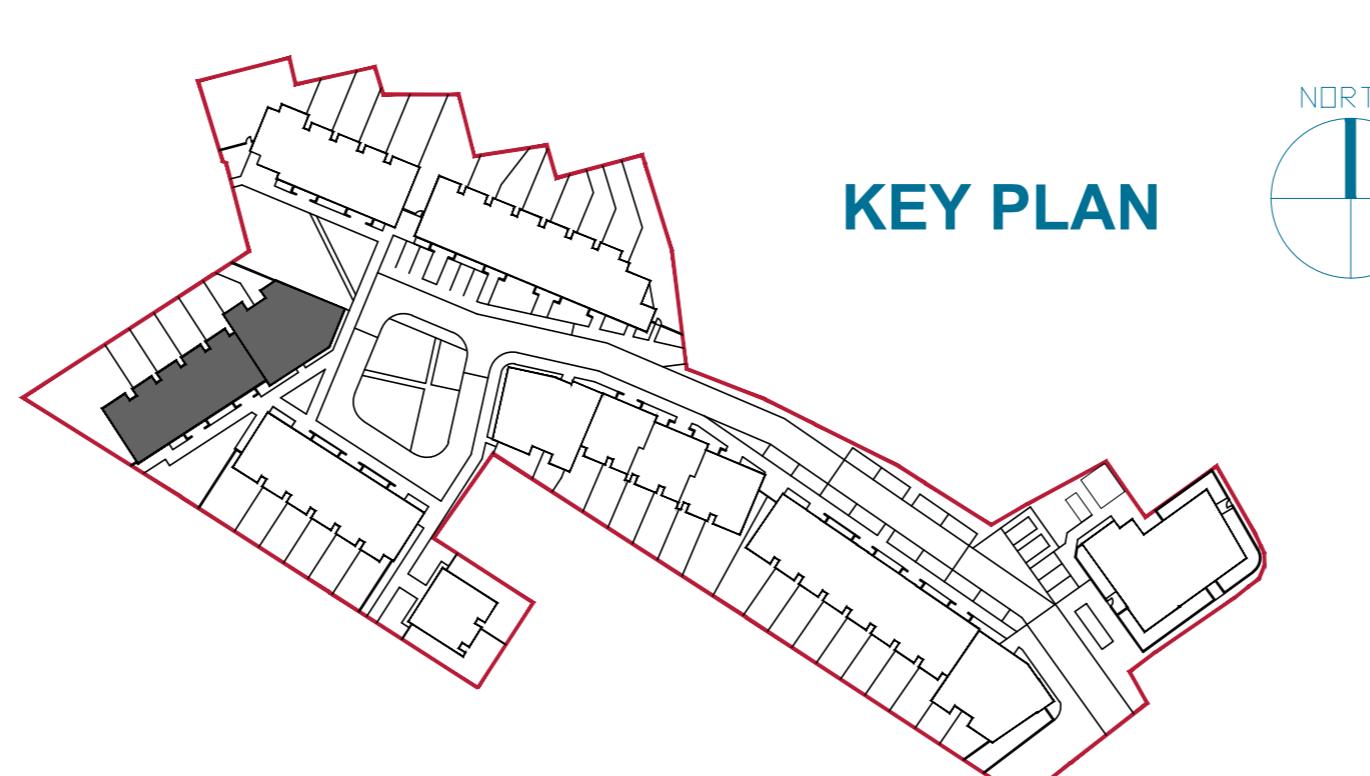
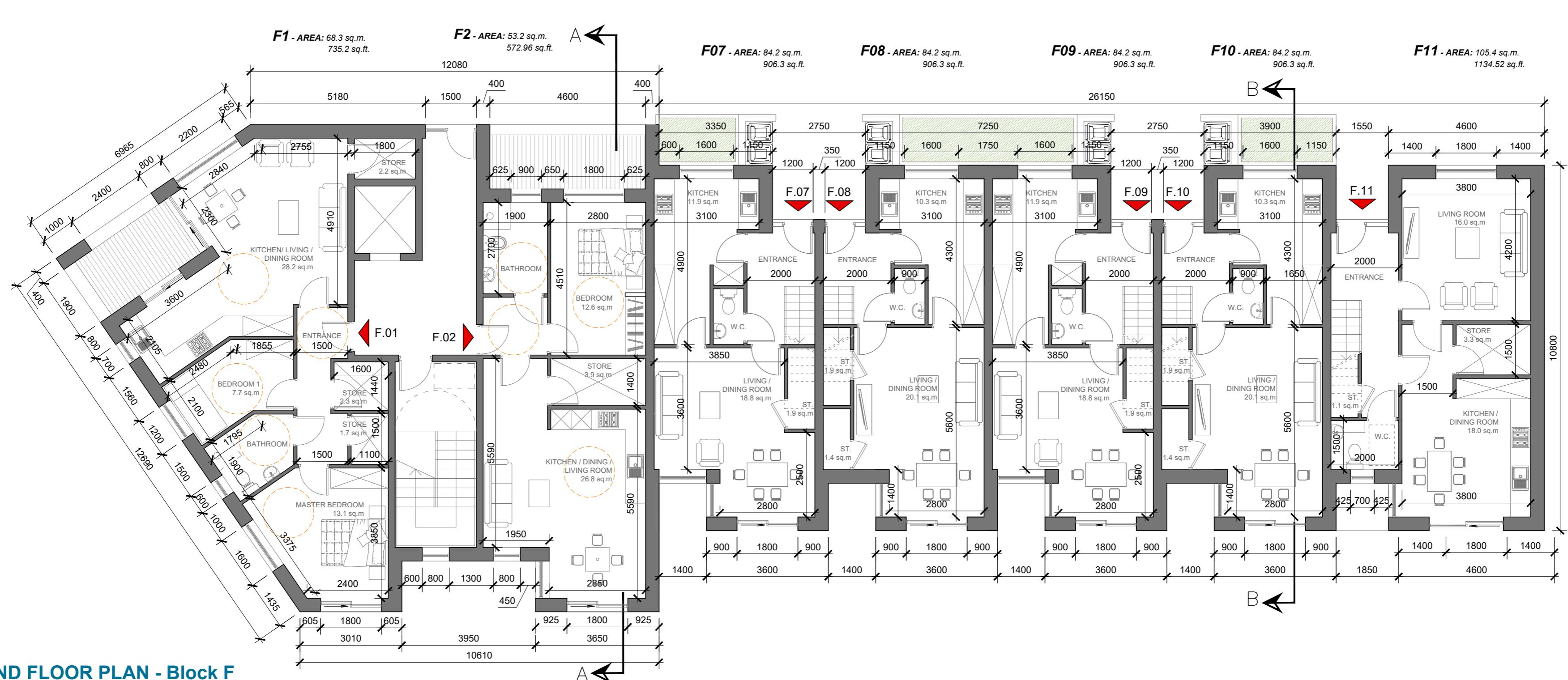
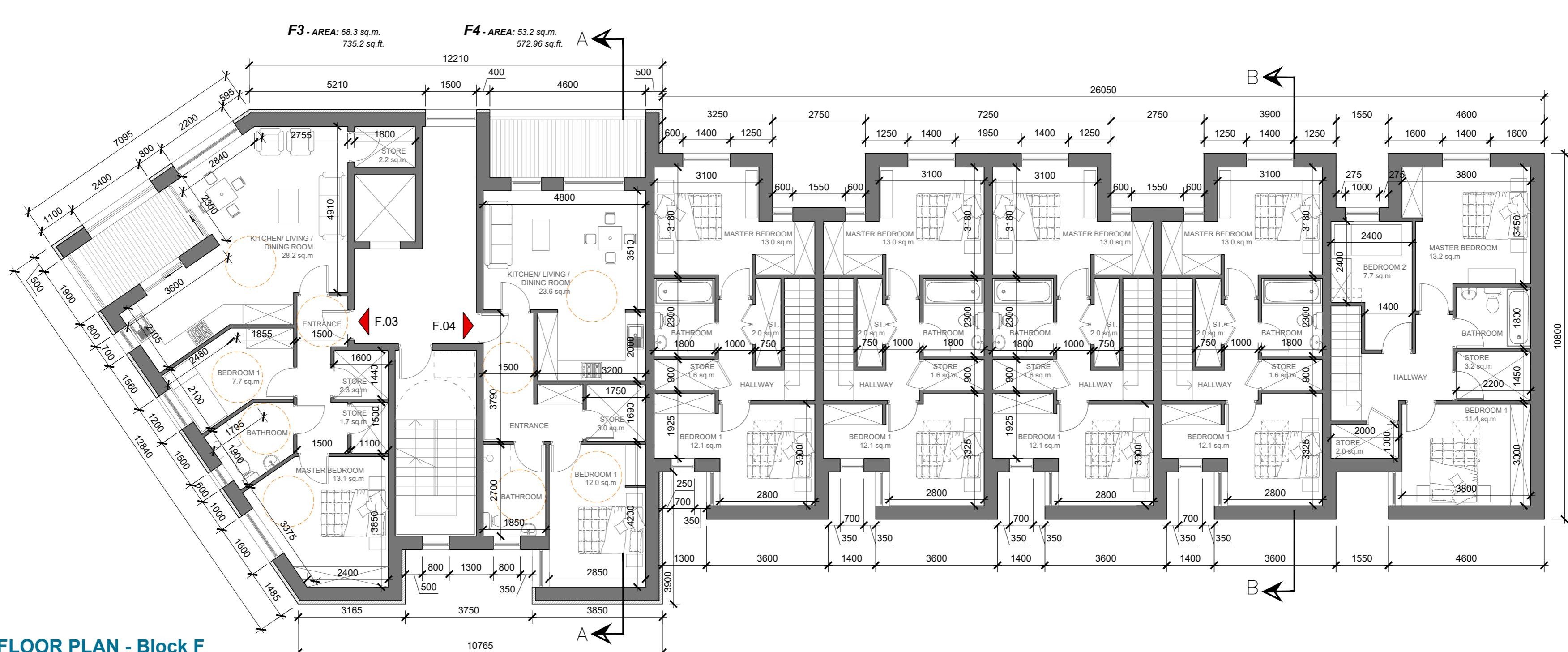
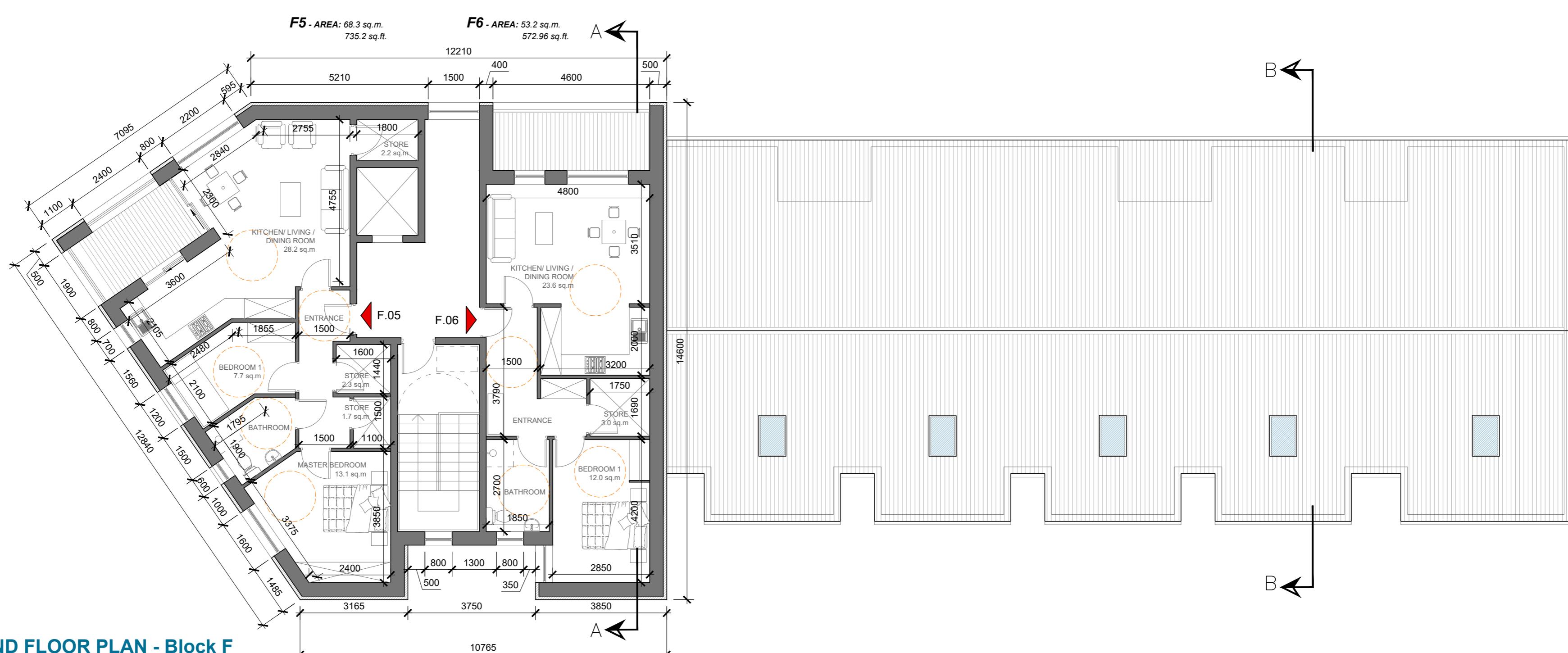
DRAWING NO.: 17147-SK-600

DATE: 02.06.20

SCALE: NTS @ A3

DEADY
GAHAN
A R C H I T E C T S

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

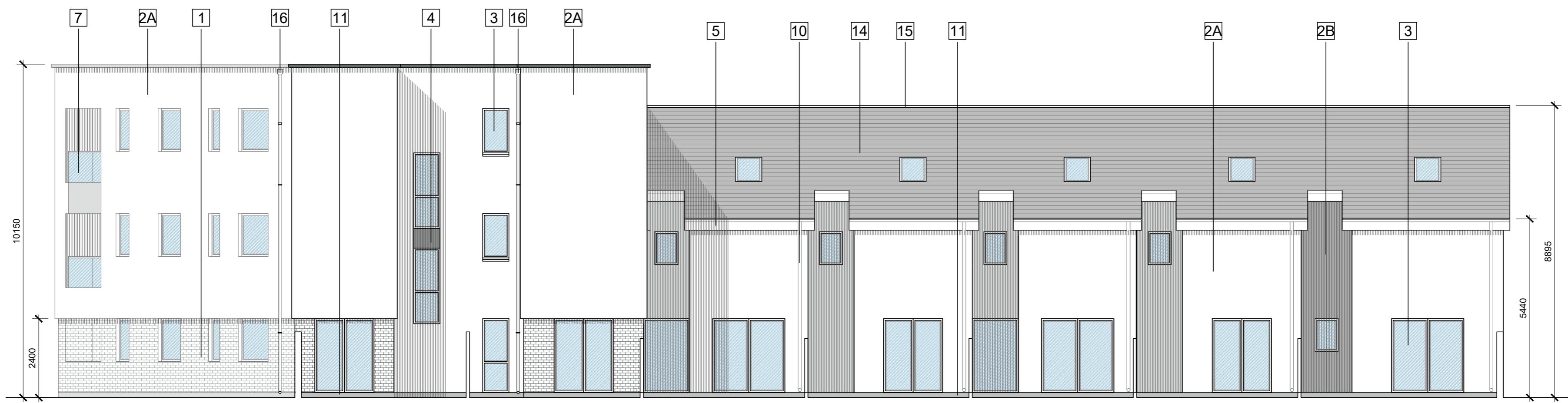


date	rev	name	chk	note
02/06/20	P3	LM	EJG	ISSUE FOR PLANNING

DEADY GAHAN ARCHITECTS
Eastgate Village, Little Island, Cork Tel: 021 4355016 Fax: 021 4355330 Email: info@dgarchitects.ie

Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKES ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY			
Drawing title BLOCK F GROUND FLOOR, FIRST FLOOR AND SECOND FLOOR PLANS			
Scale 1:100 @ A1	Drawn NP	Checked EJG	Date 2018.02.26
Project No. 17147	Drg. No. 17147/P/601	Revision P3	

Information / Comments Planning Construction



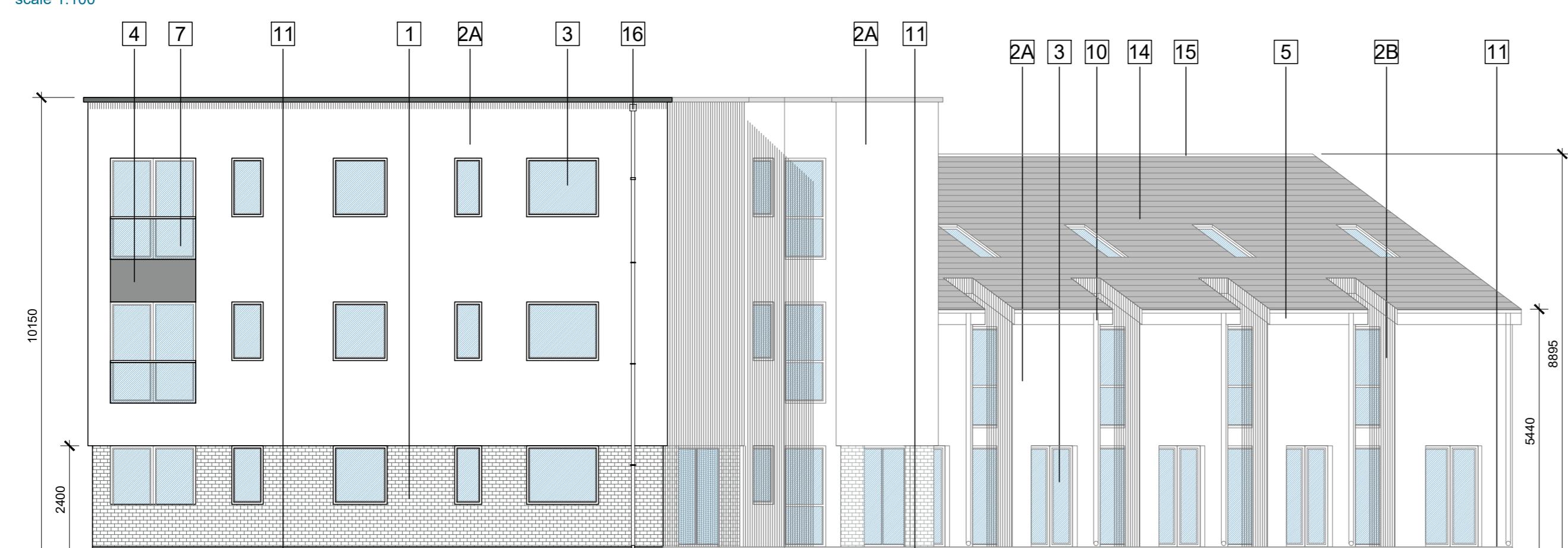
NORTH-WEST ELEVATION - Block C

scale 1:100



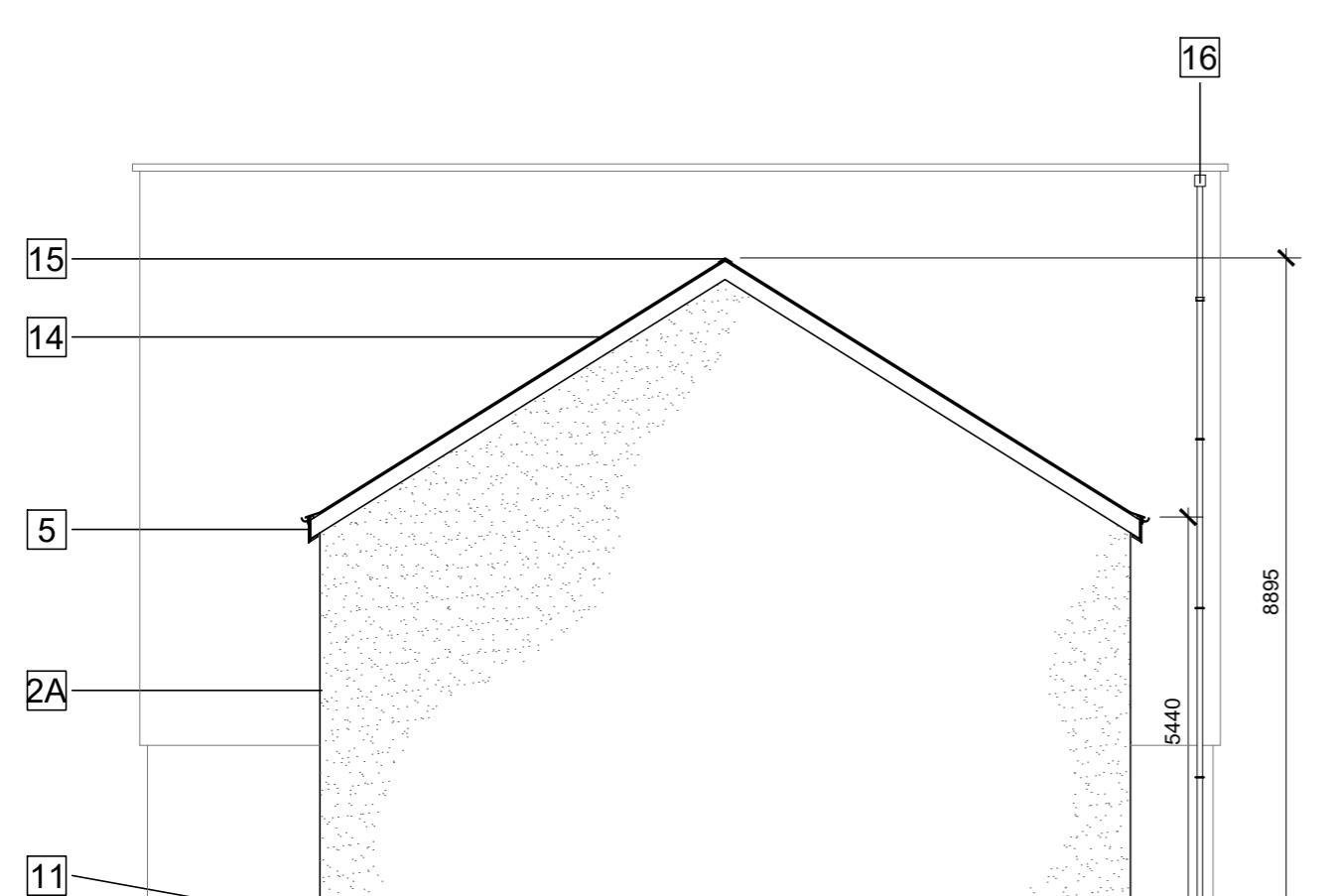
SOUTH-EAST ELEVATION - Block F

scale 1:100



NORTH ELEVATION - Block F

scale 1:100



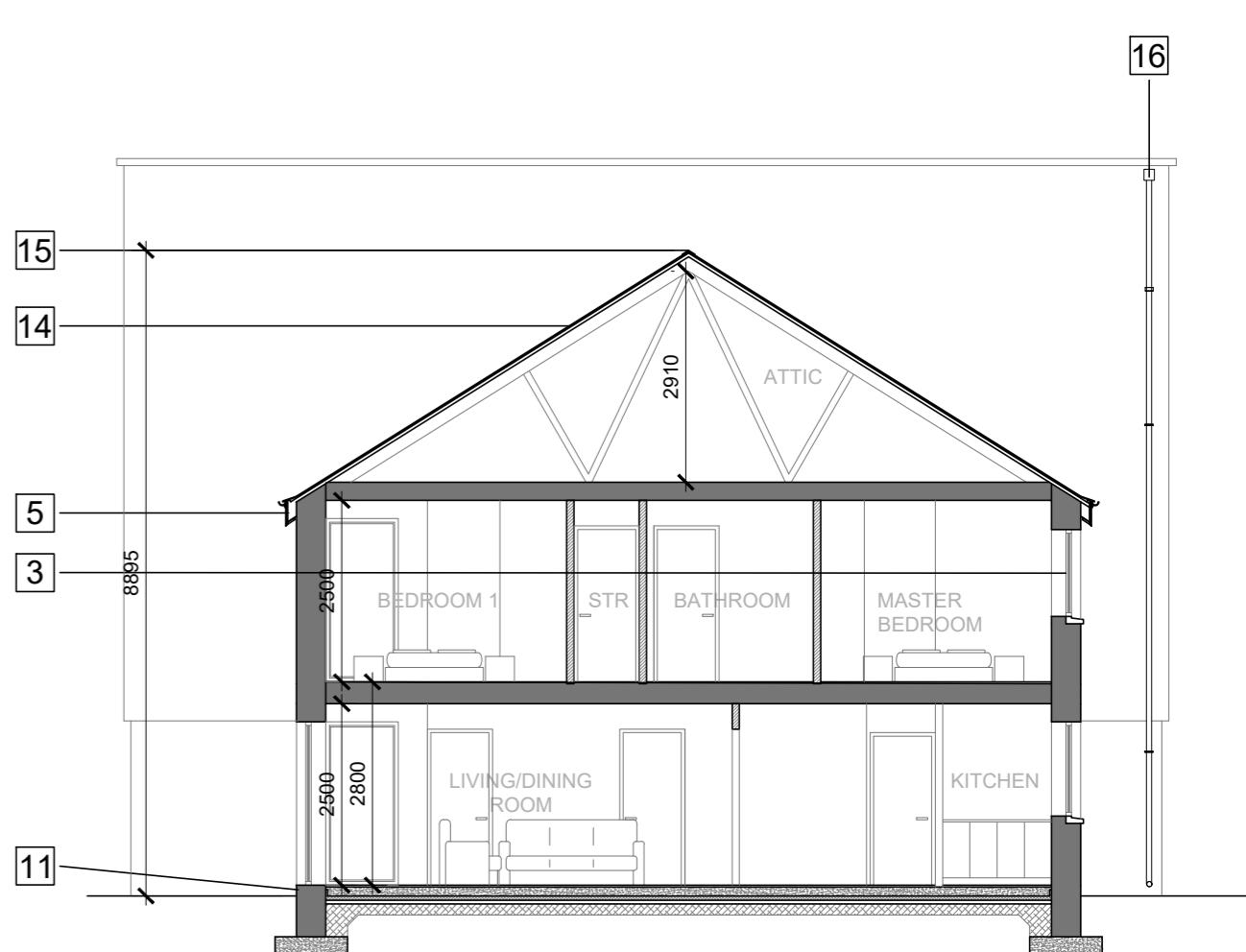
SOUTH-WEST ELEVATION - Block F

scale 1:100

SECTION A-A - Block F
scale 1:100

scale 1:100

scale 1:100

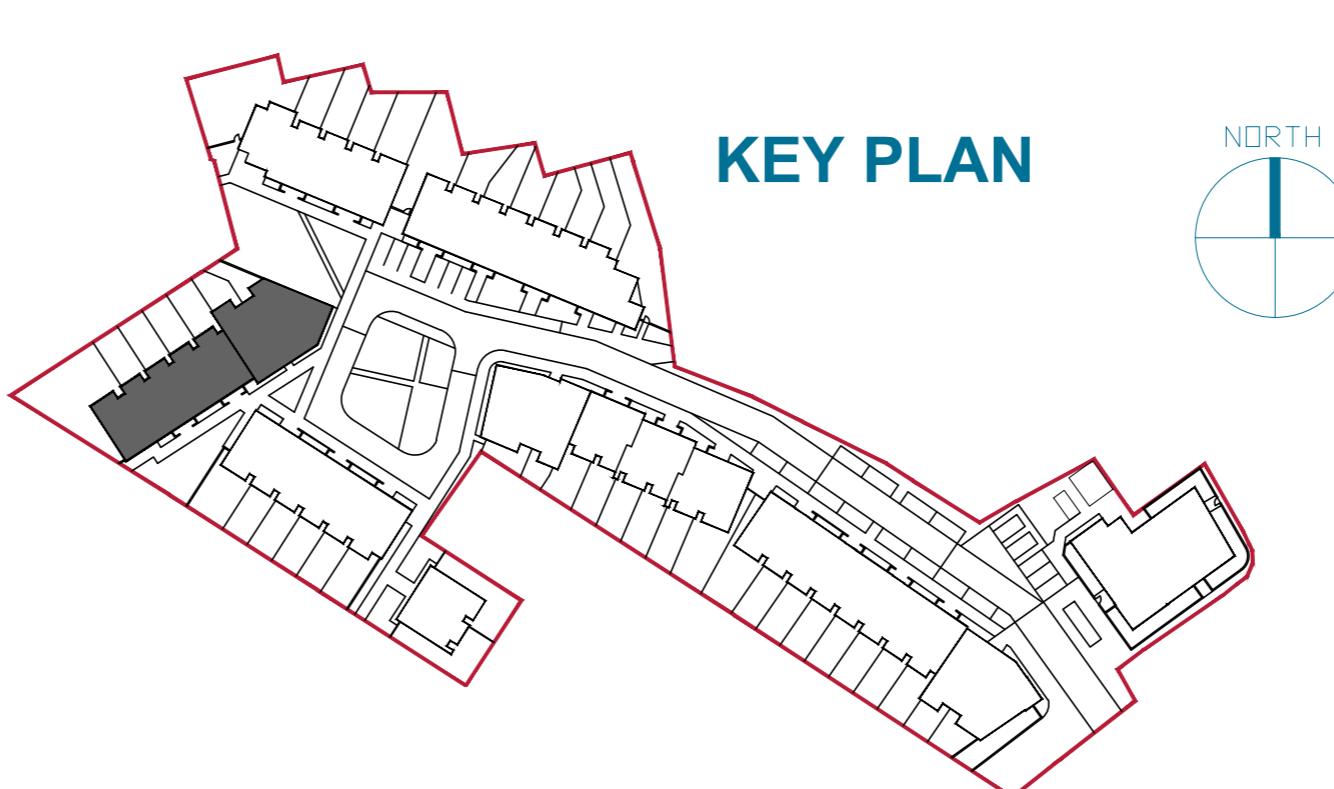


SECTION B-B - Block F

scale 1:100

date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING

OUTLINE SPECIFICATION NOTES	
1	EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
2A	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
2B	EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
3	WINDOWS/DOORS: GREY U PVC ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
4	PRESSING METAL PANEL TO MATCH WINDOW FRAME
5	ROOF PRESSED METAL FASCIA, GREY IN COLOUR
6	PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
7	GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
8	CONCRETE POST AND TIMBER INFILL PANELS
9	UPVC TIMBER FRONT DOOR
10	ALUMINIUM GUTTERS BOX DOWNPPIPES
11	150MM SMOOTH PLASTER PLINTH
12	LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
13	VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
14	BLACK SLATE FLAT TILE ON ROOF
15	BLACK RIDGE TILE
16	HOPPER TO ACCOMMODATE PARAPET DRAINAGE



KEY PLAN



DEADY GAHAN
ARCHITECTS

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project	RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWK'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY		
Drawing title	BLOCK F ELEVATIONS AND SECTIONS		
Scale	1:100 @ A1	Drawn	Checked
	NP	EJG	Date 2018.02.26
Project No.	Drg. No. 17147		
	17147/P/602		
Information \ Comments		Tender	
		Construction	

Planning

Construction



Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK G

PROJECT NO.: 17147

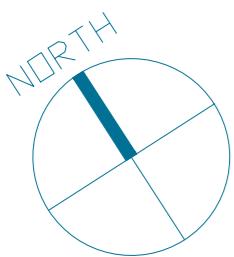
DRAWING NO.: 17147-SK-700

DATE: 02.06.20

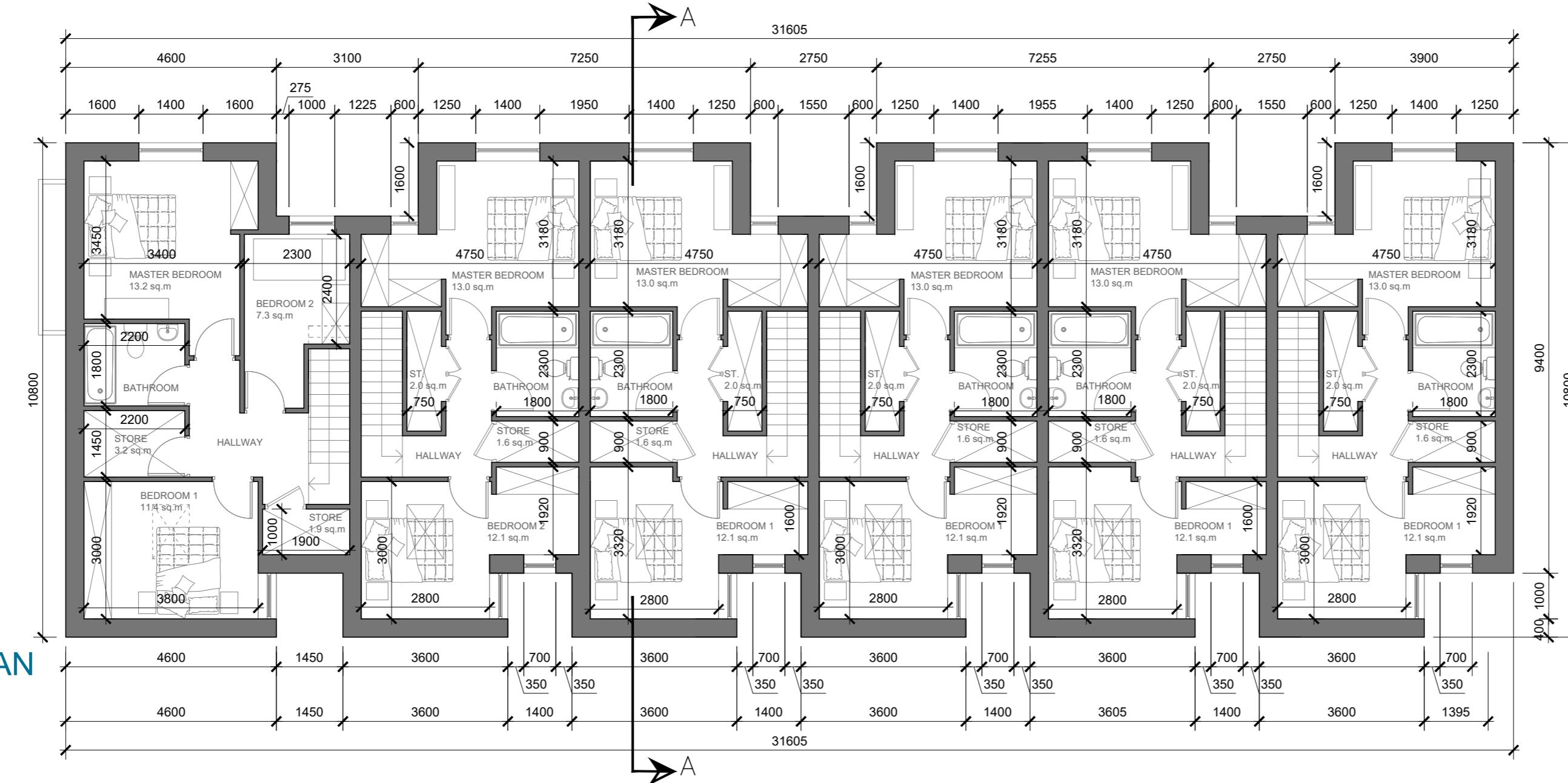
SCALE: NTS @ A3

DEADY
GAHAN
A R C H I T E C T S

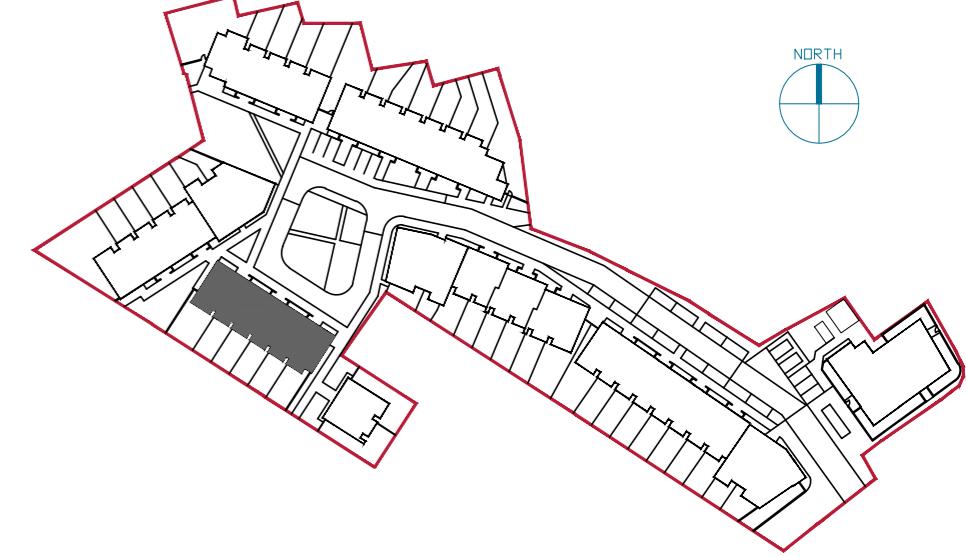
Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



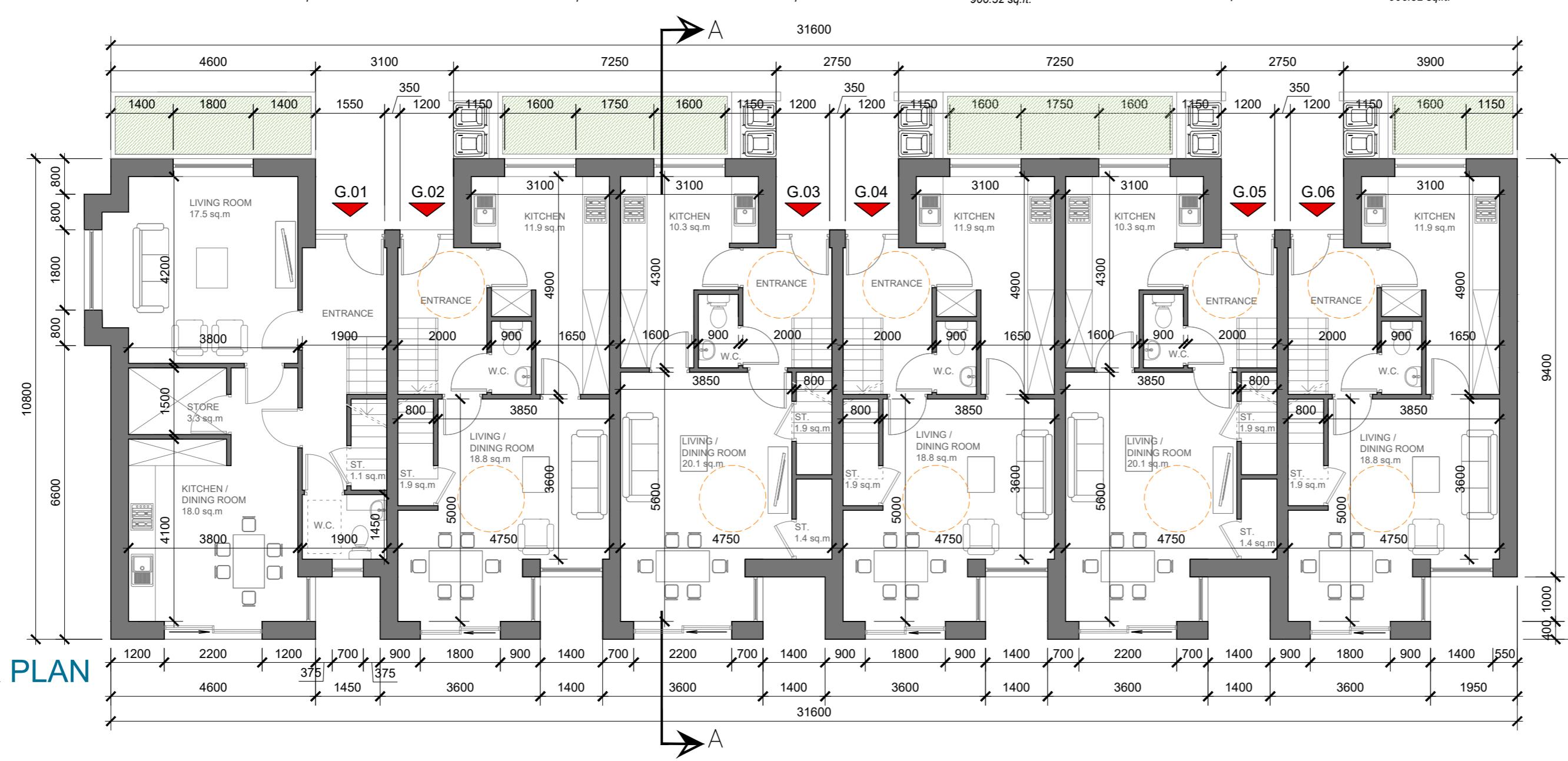
FIRST FLOOR PLAN
scale 1:100



KEY PLAN



GROUND FLOOR PLAN
scale 1:100



date	02.06.20	rev	P3	name	LM	chk	EJG	note	ISSUE FOR PLANNING
------	----------	-----	----	------	----	-----	-----	------	--------------------



Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie

Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK G
GROUND AND FIRST FLOOR PLANS

Scale	1:100 @ A2	Drawn	AV	Checked	EJG	Date	2018.02.26
Project No.	17147	Drg. No.	17147/P/701	Revision	P3		

Information \ Comments Tender
 Planning Construction





Residential Development at the junction of Hawke's Road & Bishopstown Road, Bishopstown Road, Bishopstown, Cork City - BLOCK H

PROJECT NO.: 17147

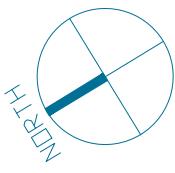
DRAWING NO.: 17147-SK-800

DATE: 02.06.20

SCALE: NTS @ A3

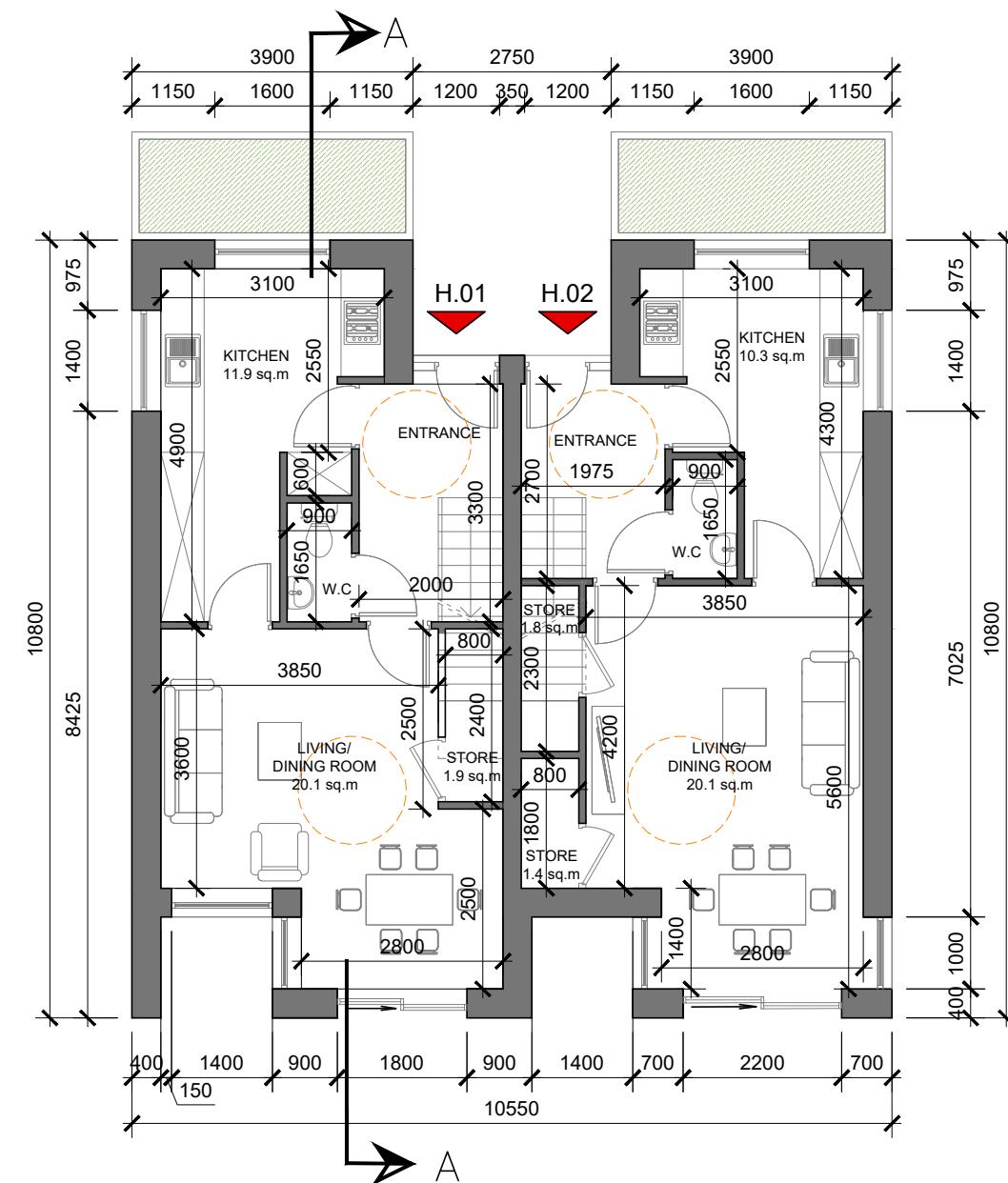
DEADY
GAHAN
A R C H I T E C T S

Eastgate Village, Little Island, Cork
Tel: 021 4355016 Fax: 021 4355330
Email: info@dgarchitects.ie



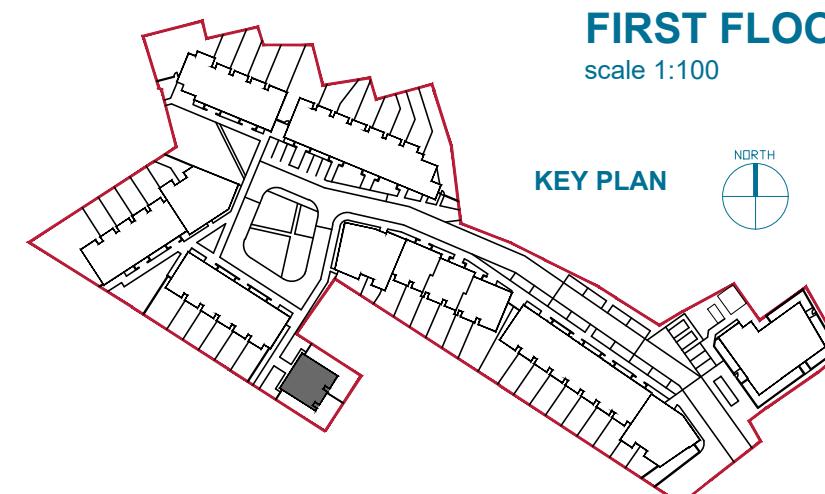
**BLOCK H AREA:84.2SQ.M
906 SQ.FT**

**BLOCK H AREA:84.2SQ.M
906 SQ.FT**



GROUND FLOOR PLAN

scale 1:100



FIRST FLOOR PLAN

scale 1:100

KEY PLATE

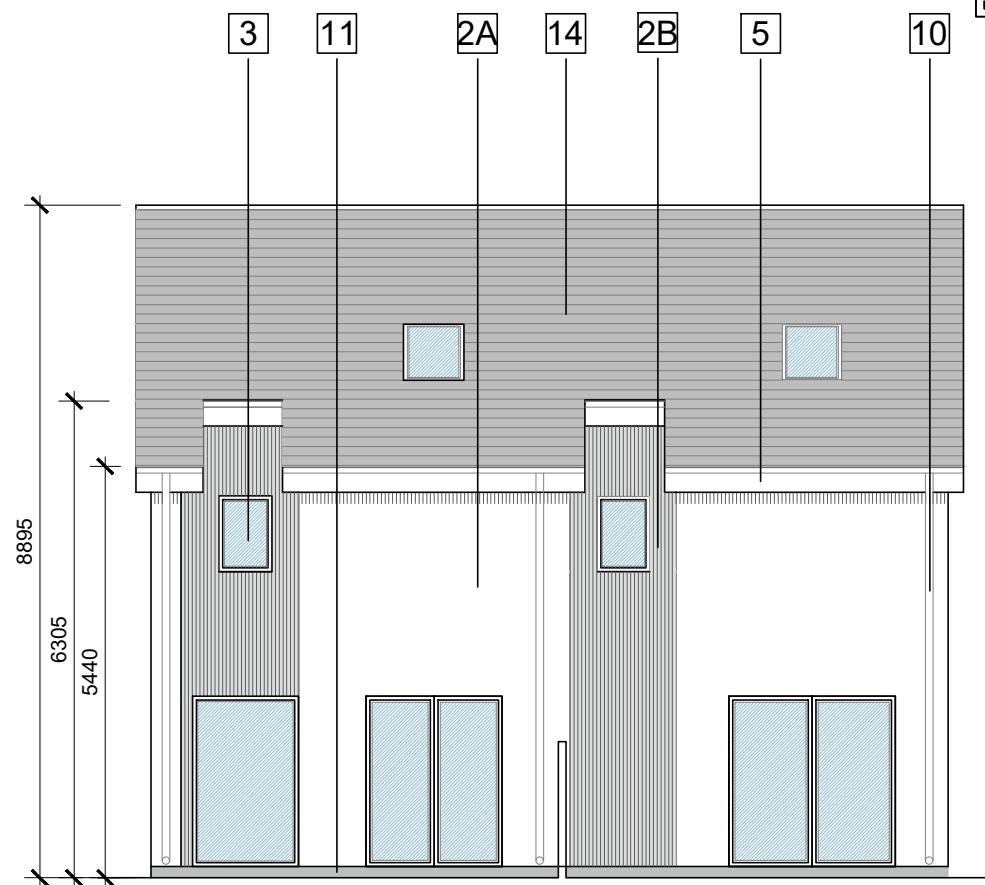


date 02.06.20	rev P3	name LM	chk EJG	note ISSUE FOR PLANNING
 DEADY GAHAN ARCHITECTS				
Eastgate Village, Little Island, Cork Tel: 021 4355016 Fax: 021 4355330 Email: info@dgarchitects.ie				
Project RESIDENTIAL DEVELOPMENT AT THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD, BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY				
Drawing title BLOCK H GROUND FLOOR PLAN AND FIRST FLOOR PLAN				
Scale 1:100 @ A3	Drawn AV	Checked EJG	Date 19.02.2019	
Project No. 17147	Drg. No. 17147/P/801		Revision P3	
<input type="checkbox"/> Information \ Comments			<input type="checkbox"/> Tender	
<input checked="" type="checkbox"/> Planning			<input type="checkbox"/> Construction	



FRONT ELEVATION

scale 1:100

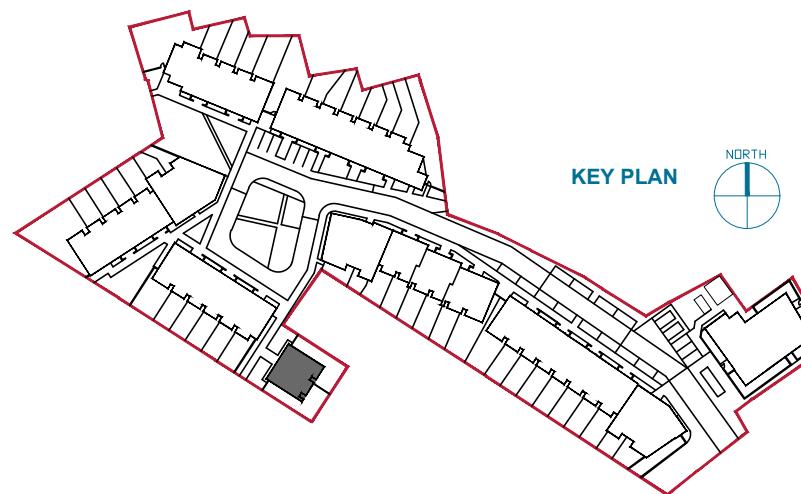


REAR ELEVATION

scale 1:100

OUTLINE SPECIFICATION NOTES

- [1] — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- [2A] — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- [2B] — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- [3] — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- [4] — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- [5] — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- [6] — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- [7] — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- [8] — CONCRETE POST AND TIMBER INFILL PANELS
- [9] — uPVC TIMBER FRONT DOOR
- [10] — ALUMINIUM GUTTERS BOX DOWNPipes
- [11] — 150MM SMOOTH PLASTER PLINTH
- [12] — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- [13] — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- [14] — BLACK SLATE FLAT TILE ON ROOF
- [15] — BLACK RIDGE TILE

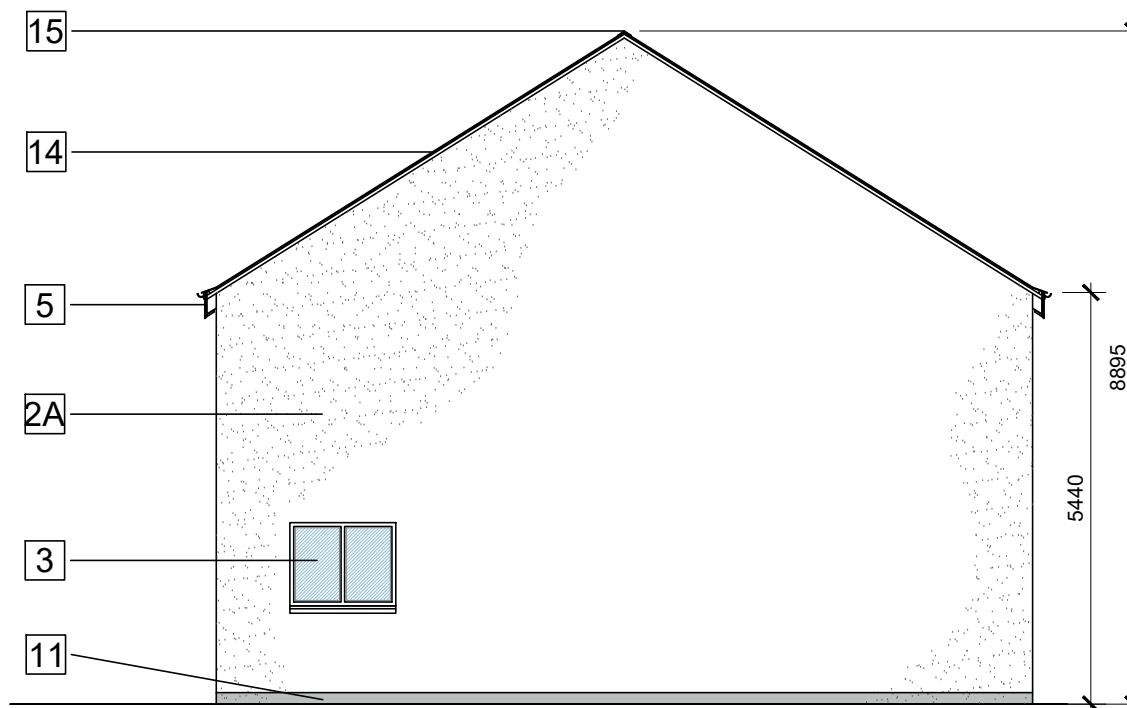


date	02.06.20	rev	P3	name	LM	chk	EJG	note	ISSUE FOR PLANNING
------	----------	-----	----	------	----	-----	-----	------	--------------------



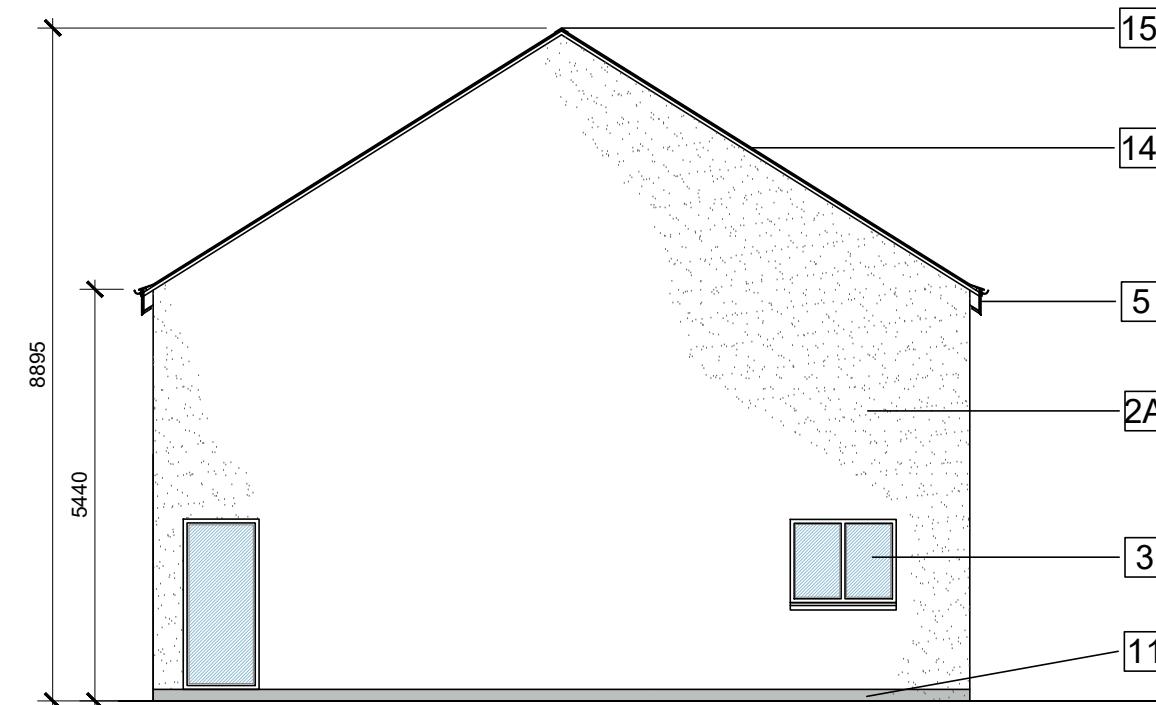
Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK H
FRONT AND REAR ELEVATIONS
Scale 1:100 @ A3 Drawn AV Checked EJG Date 19.02.2019
Project No. 17147 Drg. No. 17147/P/802 Revision P3
 Information \ Comments Tender
 Planning Construction



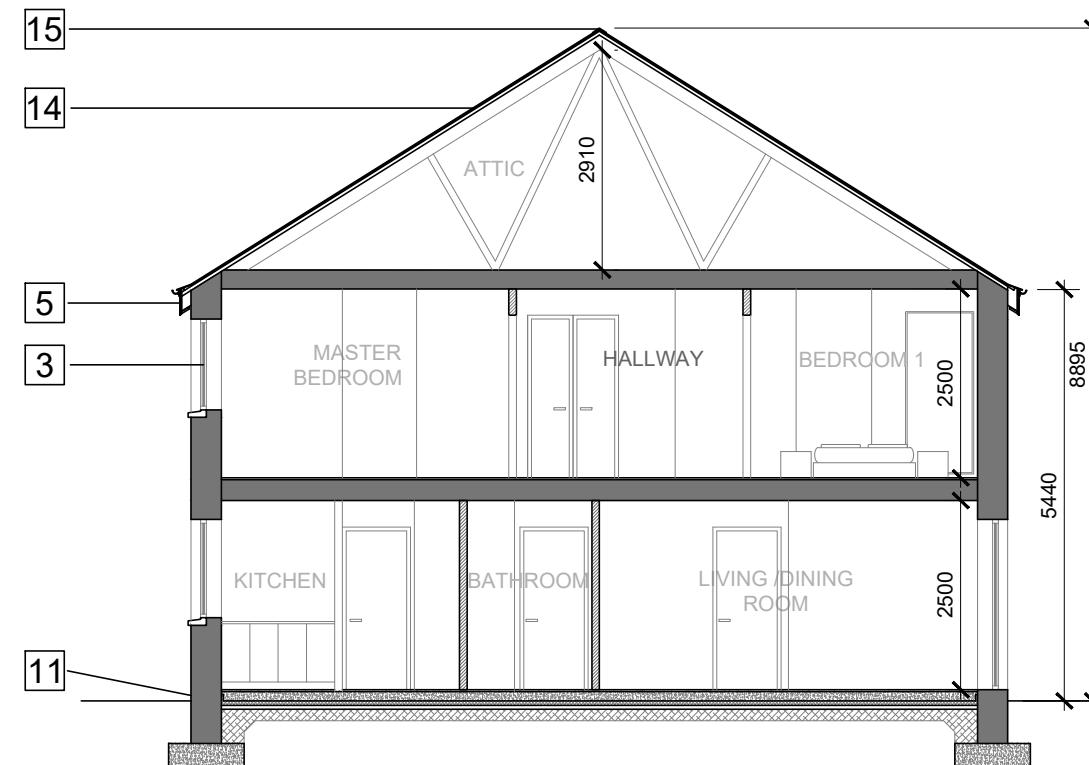
SIDE ELEVATION

scale 1:100



SIDE ELEVATION

scale 1:100



SECTION A-A

scale 1:100

OUTLINE SPECIFICATION NOTES

- 1 — EXTERNAL WALL: BRICK OUTER - LEAF, GREY IN COLOUR
- 2A — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR OFF-WHITE
- 2B — EXTERNAL WALL: SMOOTH PLASTER FINISH, COLOUR GREY
- 3 — WINDOWS/DOORS: GREY U PVC/ ALUMINIUM FRAMED WINDOWS, DOUBLED GLAZED
- 4 — PRESSING METAL PANEL TO MATCH WINDOW FRAME
- 5 — ROOF PRESSED METAL FASCIA, GREY IN COLOUR
- 6 — PRESSED METAL CANOPY TO ENTRANCE DOORS, GREY IN COLOUR
- 7 — GUARDING: GALVANISED STEEL HANDRAIL WITH TOUGHENED GLASS INSERTS
- 8 — CONCRETE POST AND TIMBER INFILL PANELS
- 9 — uPVC TIMBER FRONT DOOR
- 10 — ALUMINIUM GUTTERS BOX DOWNPipes
- 11 — 150MM SMOOTH PLASTER PLINTH
- 12 — LOW RISE CONCRETE BLOCK BOUNDARY WALL WITH A BRICK OUTER LEAF, GREY IN COLOUR
- 13 — VERTICAL STEEL RAILING WITH A POWDER COATED FINISH
- 14 — BLACK SLATE FLAT TILE ON ROOF
- 15 — BLACK RIDGE TILE

date 02.06.20 rev P3 name LM chk EJG note ISSUE FOR PLANNING



Project
RESIDENTIAL DEVELOPMENT AT
THE JUNCTION OF HAWKE'S ROAD & BISHOPSTOWN ROAD,
BISHOPSTOWN ROAD, BISHOPSTOWN, CORK CITY

Drawing title
BLOCK H
SIDE ELEVATIONS AND SECTION A-A
Scale 1:100 @ A3 Drawn AV Checked EJG Date 19.02.2019
Project No. 17147 Drg. No. 17147/P/803 Revision P3
 Information \ Comments Tender
 Planning Construction

Residential Development at

Site at the junction of Hawke's Road and Bishopstown Road, Bishopstown Road, Cork

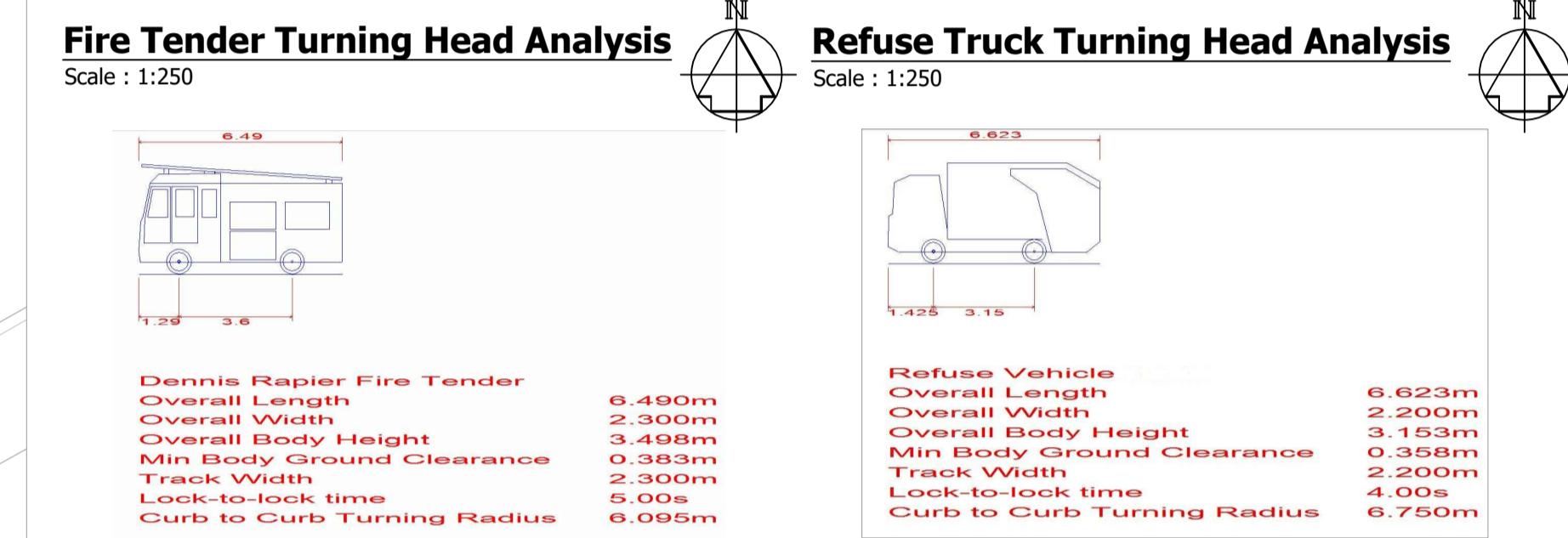
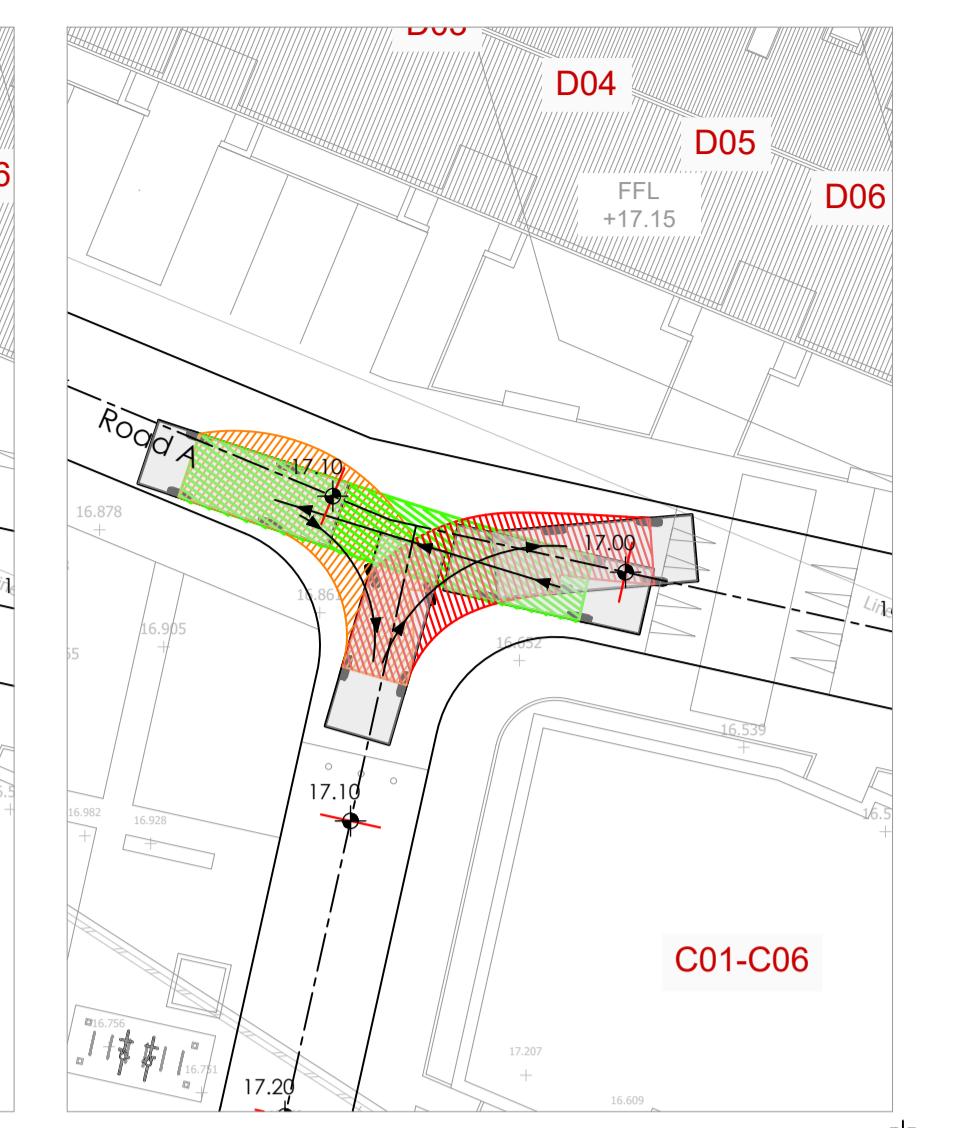
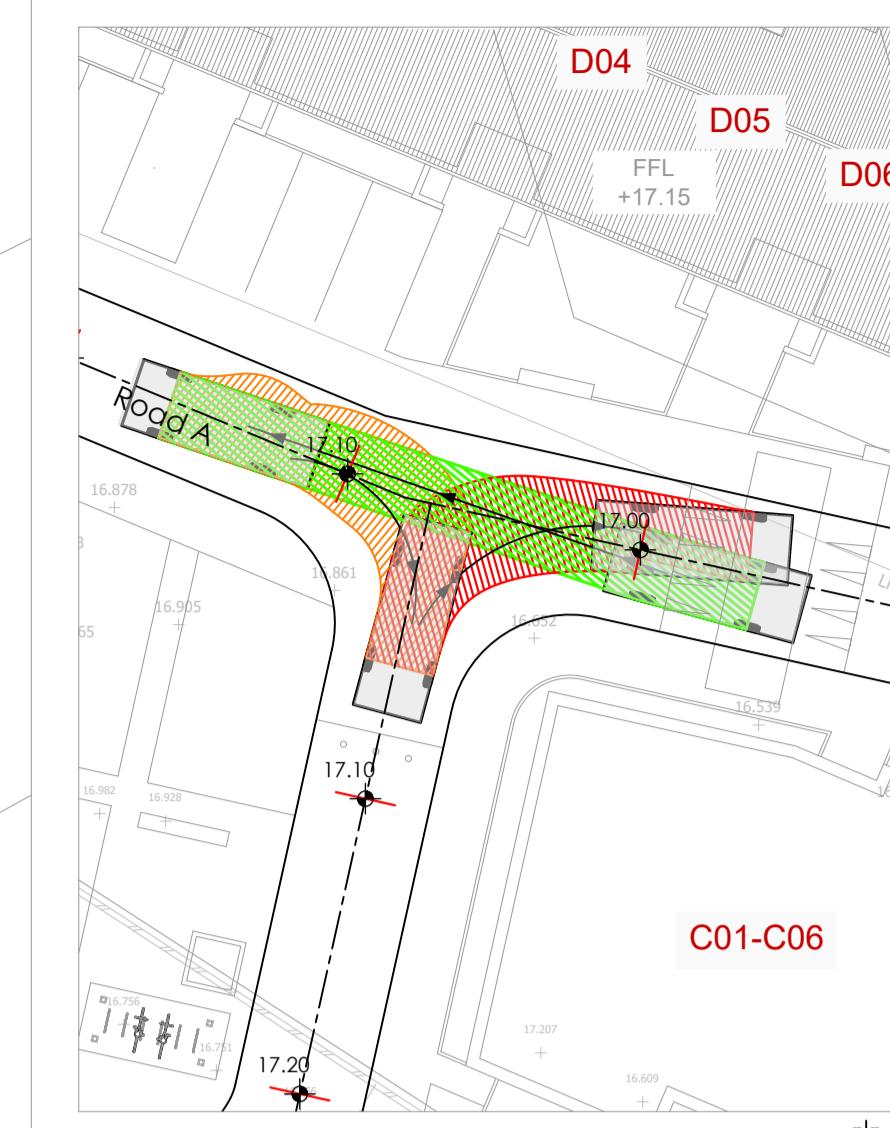
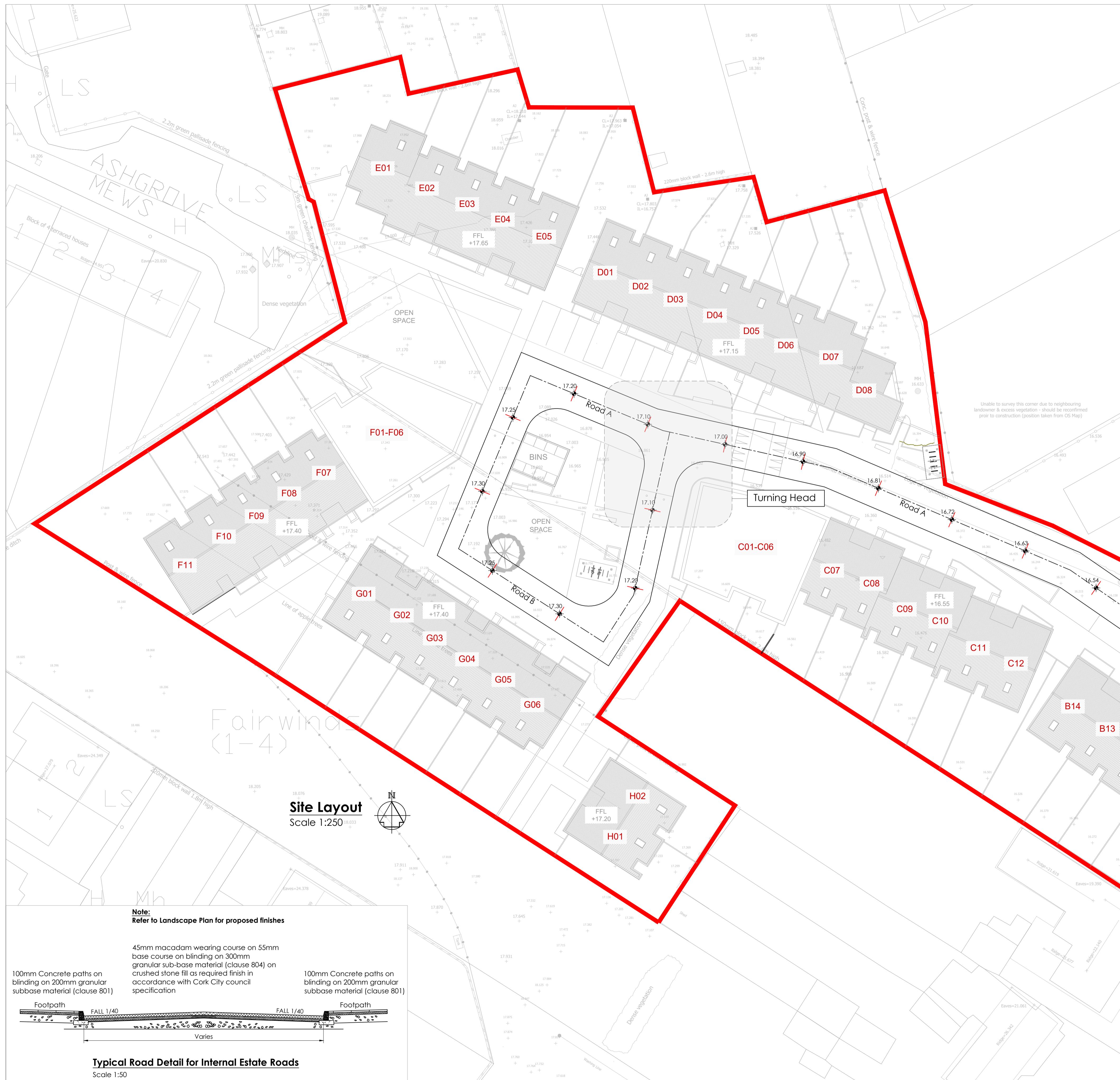
Planning Drawings

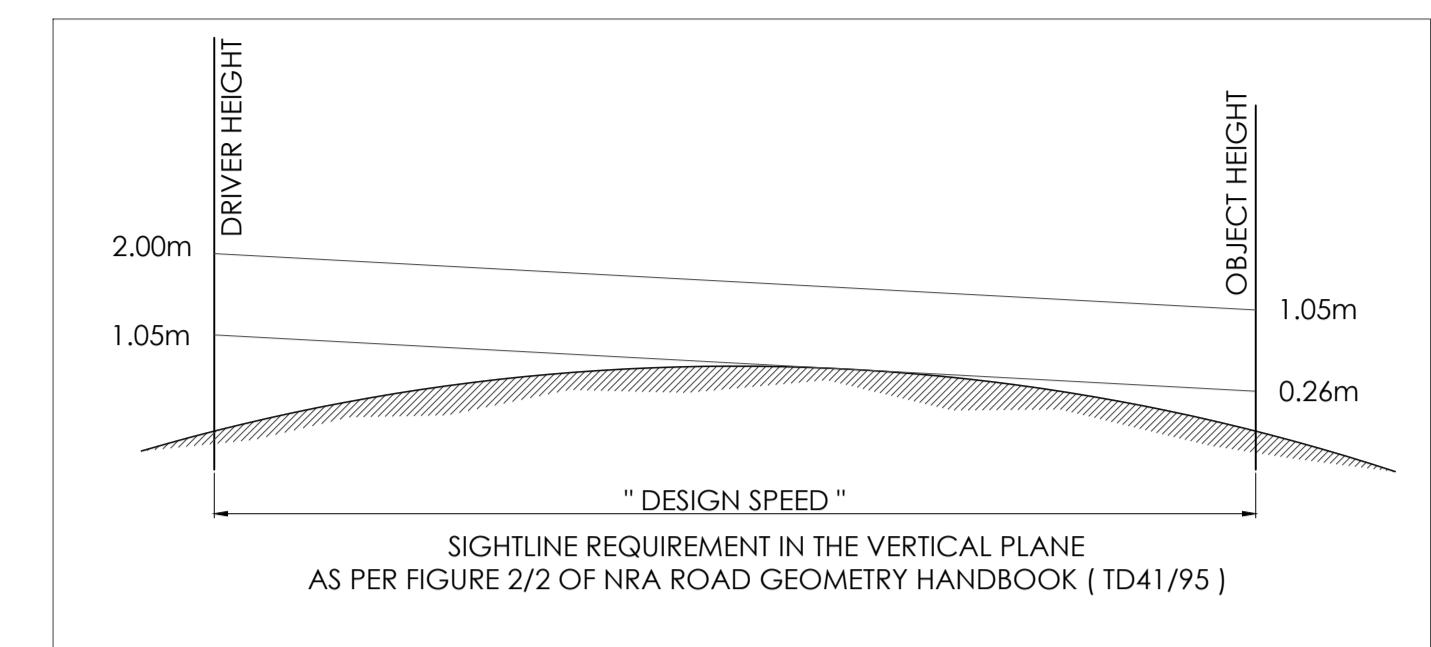
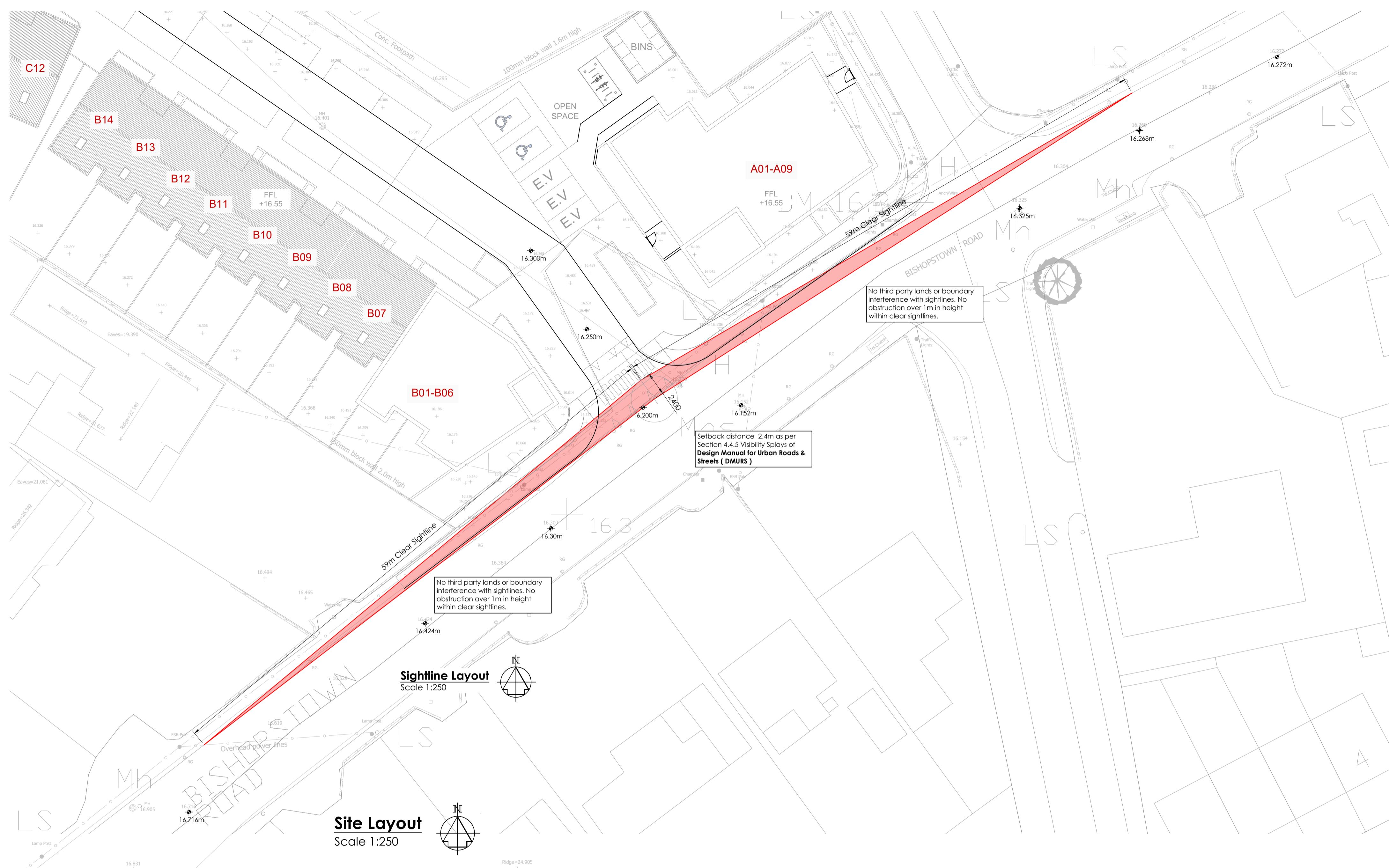
4995-5001	Drawing Index & Locality Plan
4995-5010	Proposed Road Layout & Levels & Turning Analysis
4995-5012	Proposed Sightlines Layout
4995-5015	Proposed Speed Control Measures
4995-5020	Proposed Storm & Foul Drainage Layout (1 of 2)
4995-5021	Proposed Storm & Foul Drainage Layout (2 of 2)
4995-5025	Proposed Waste Water Details (1 of 2)
4995-5026	Proposed Waste Water Details (2 of 2)
4995-5030	Proposed Watermain Layout
4995-5035	Proposed Watermain Details (1 of 2)
4995-5036	Proposed Watermain Details (2 of 2)
4995-5040	Proposed Storm Water Attenuation Tank
4995-5060	Proposed Foul Sewer Longitudinal Sections
4995-5070	Proposed Storm Sewer Longitudinal Sections

Drawing Index

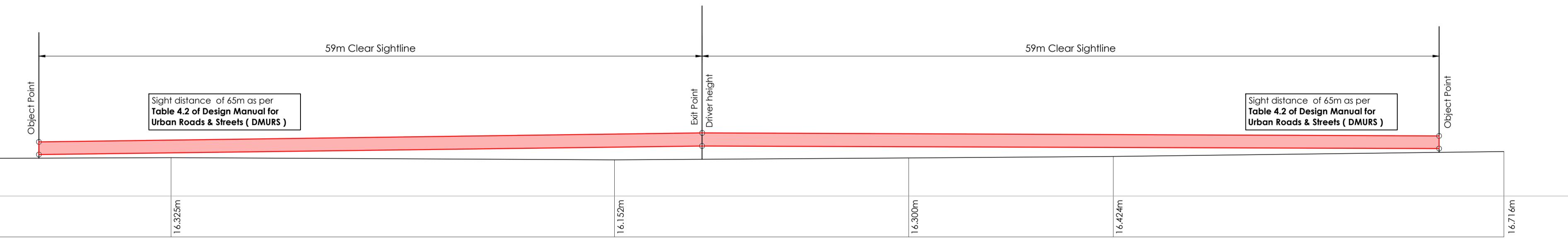


Locality Plan
Scale: N.T.S.

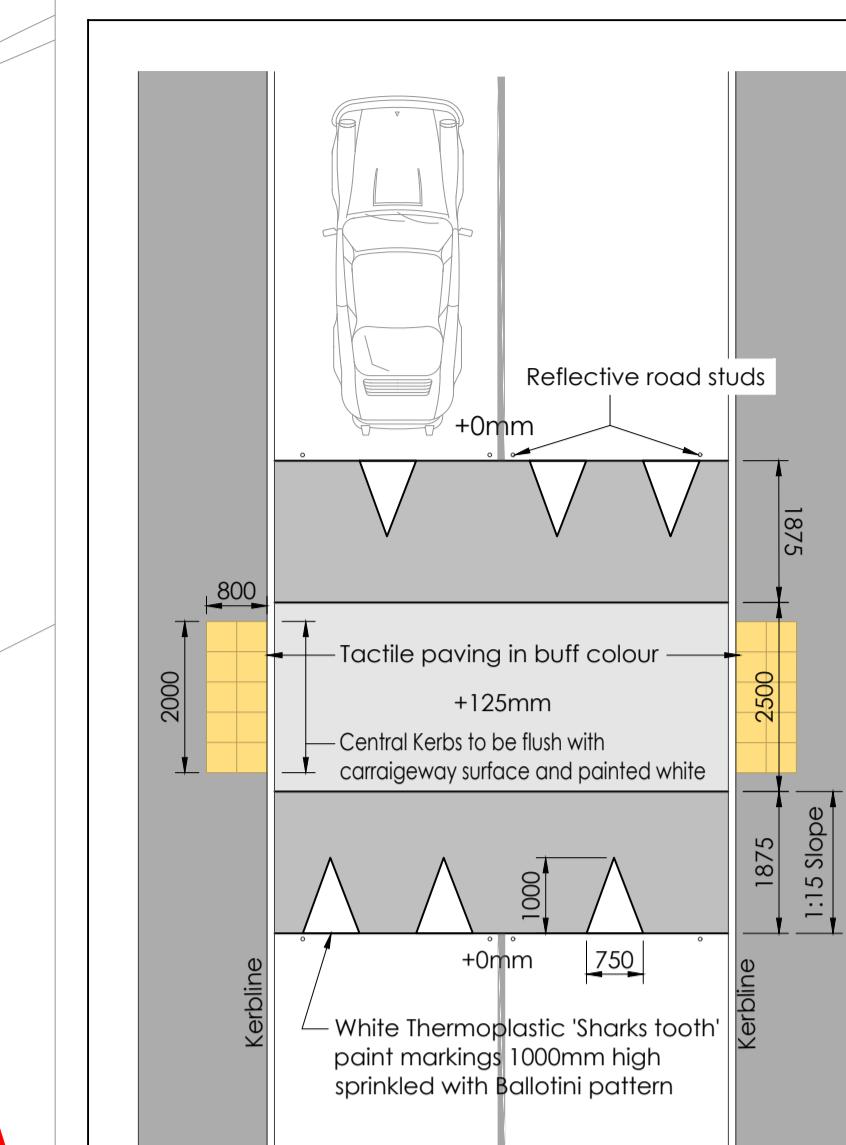




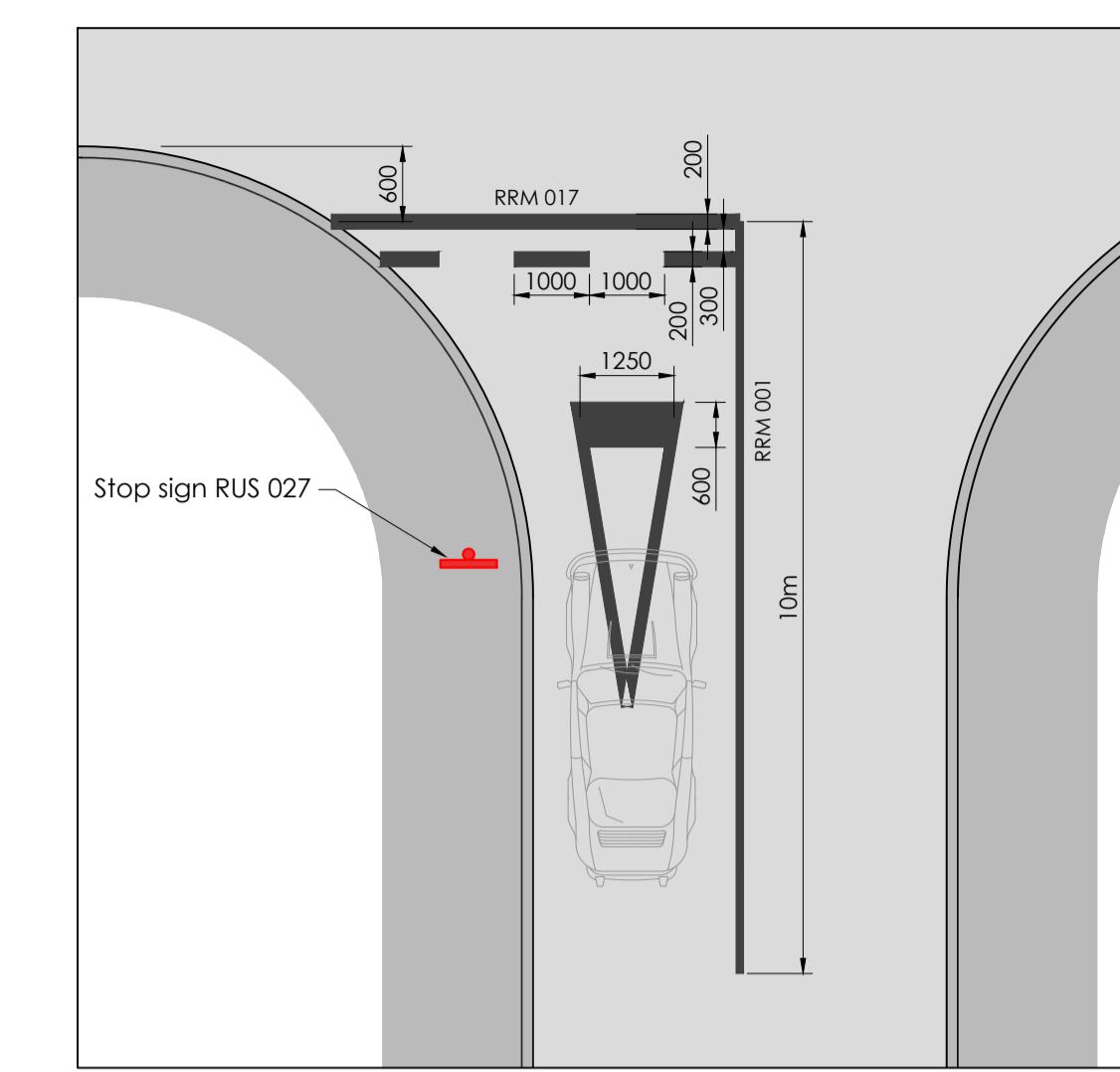
Design speed (Km/h)	SSD Standard (Meters)
10 (Km/h)	7m
20 (Km/h)	14m
30 (Km/h)	23m
40 (Km/h)	33m
50 (Km/h)	45m
60 (Km/h)	59m



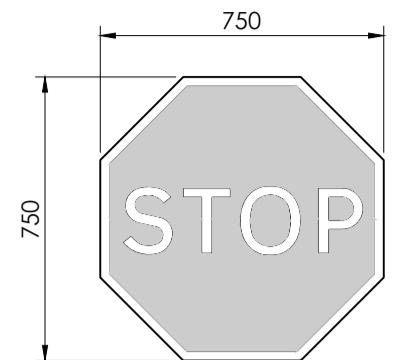
Sightline Elevation - Proposed Vertical Alignment



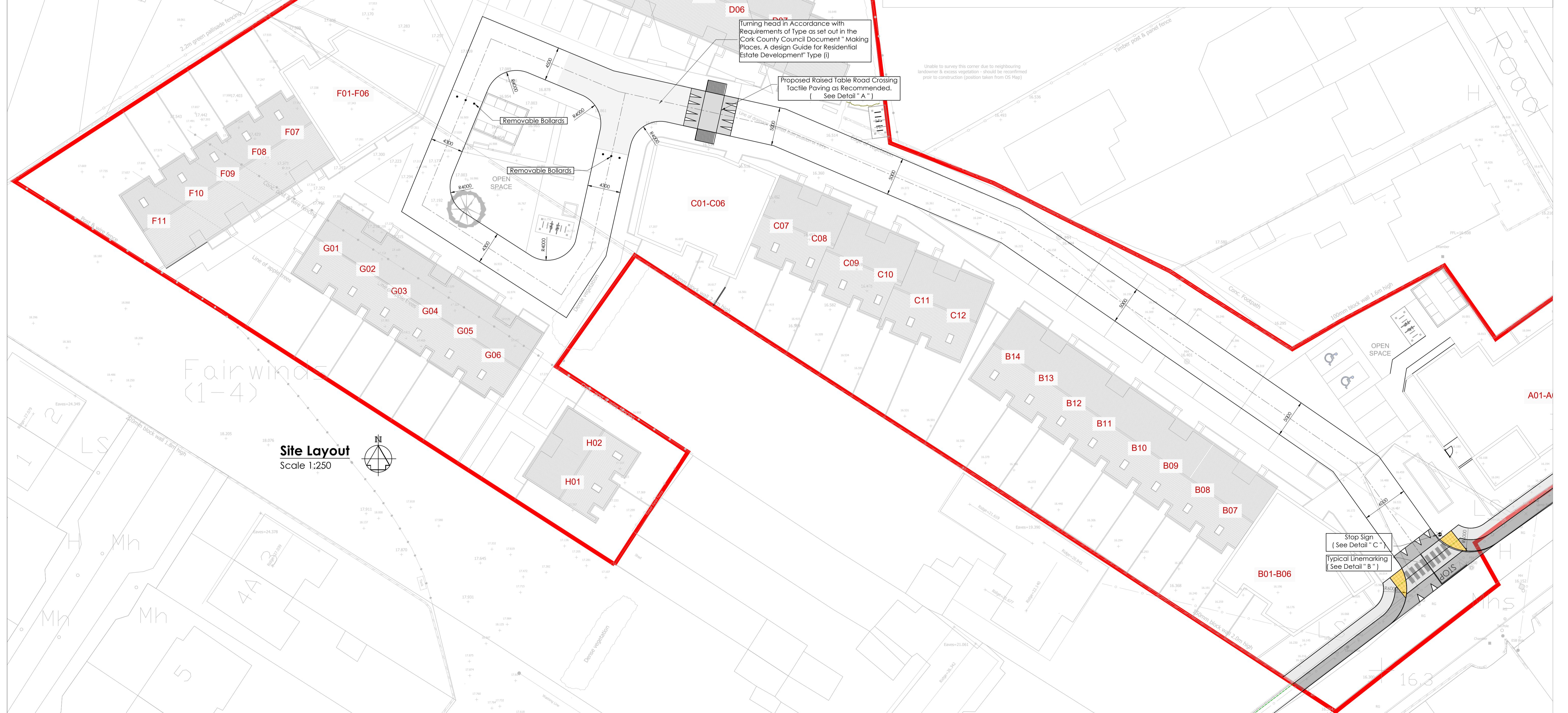
Detail 'A' - Raised Table Road Crossing



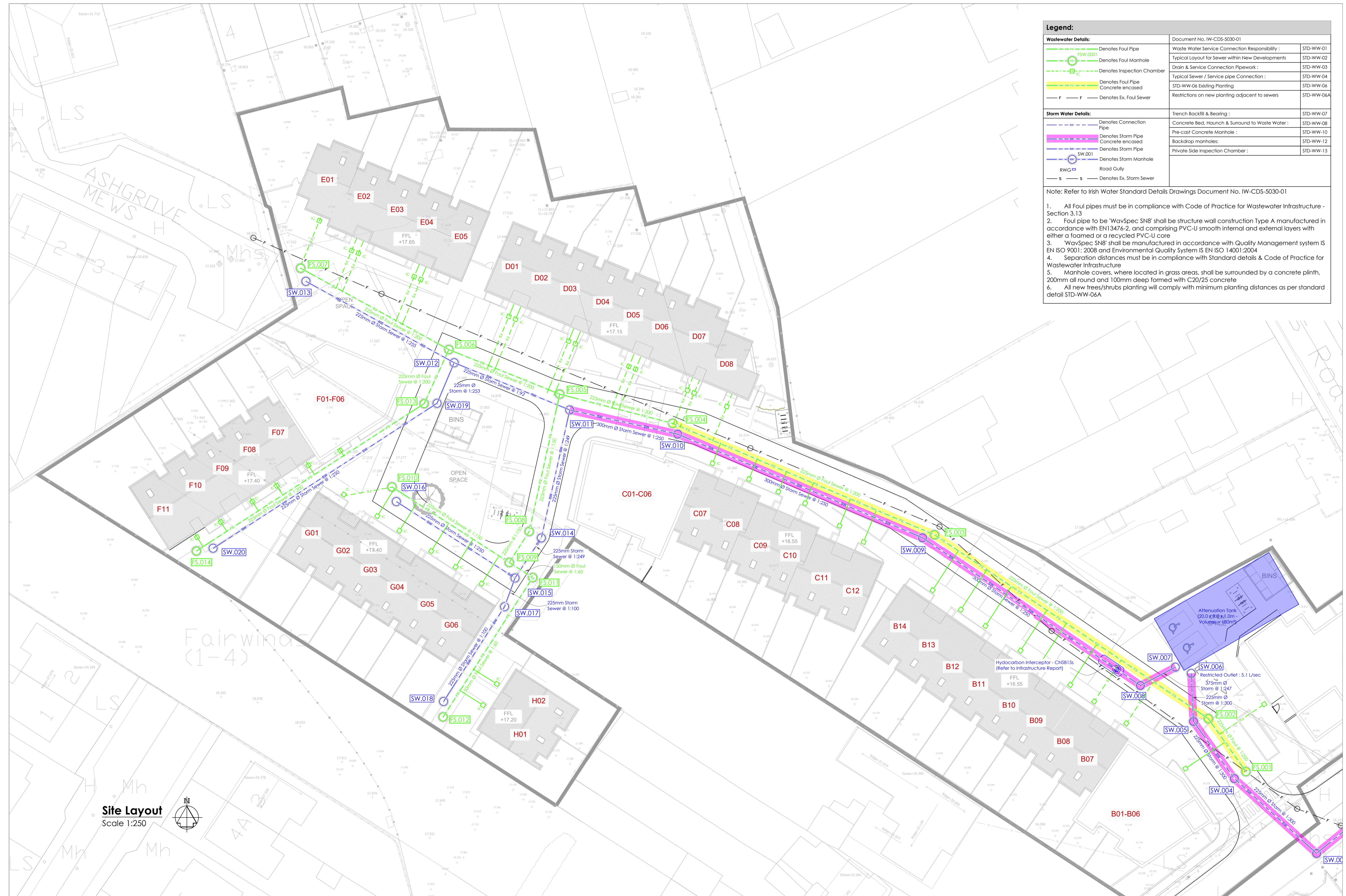
Detail 'B' - Typical Linemarking

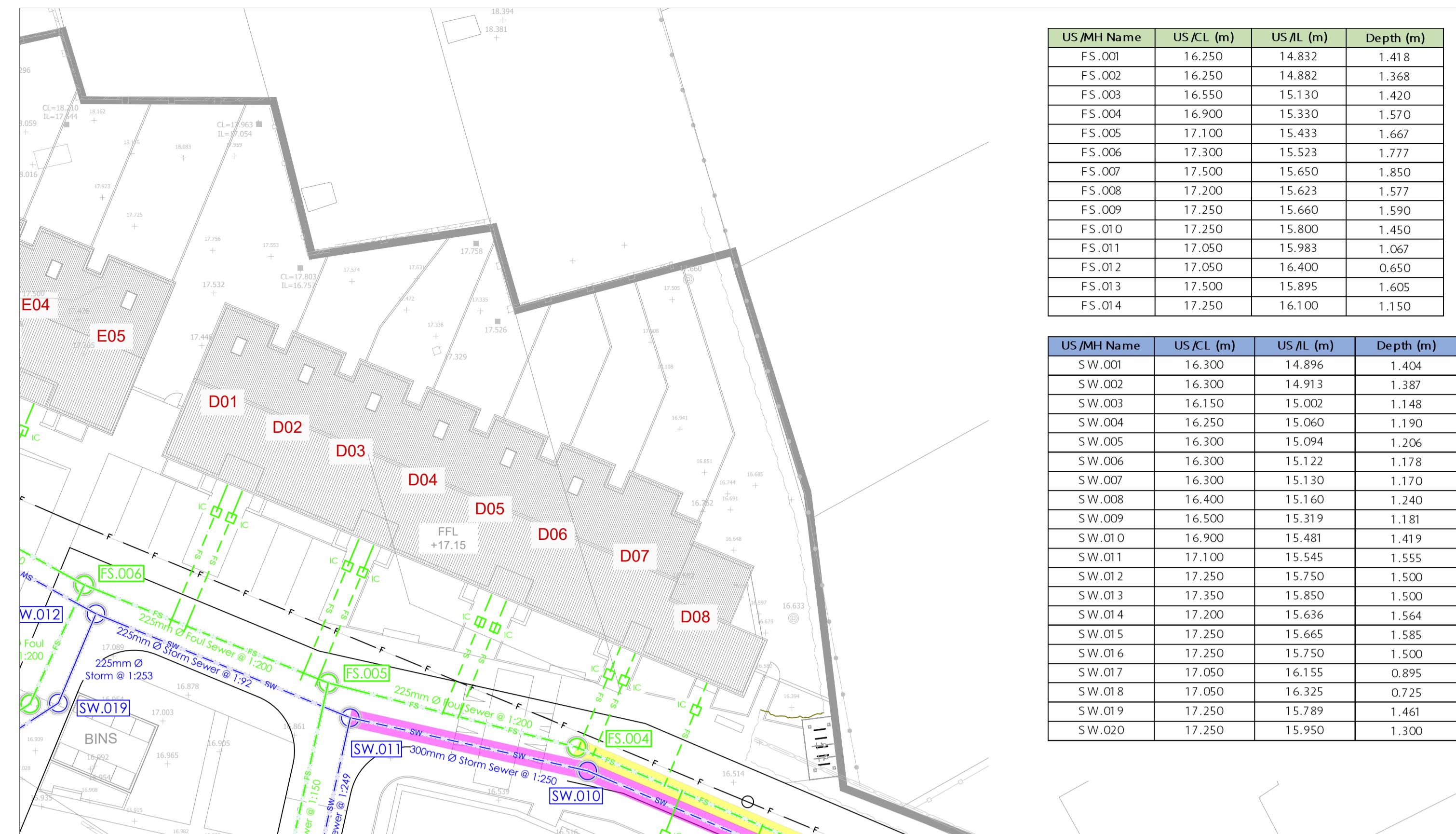


Detail 'C' - Stop Sign
Scale 1:20



Site Layout
Scale 1:250



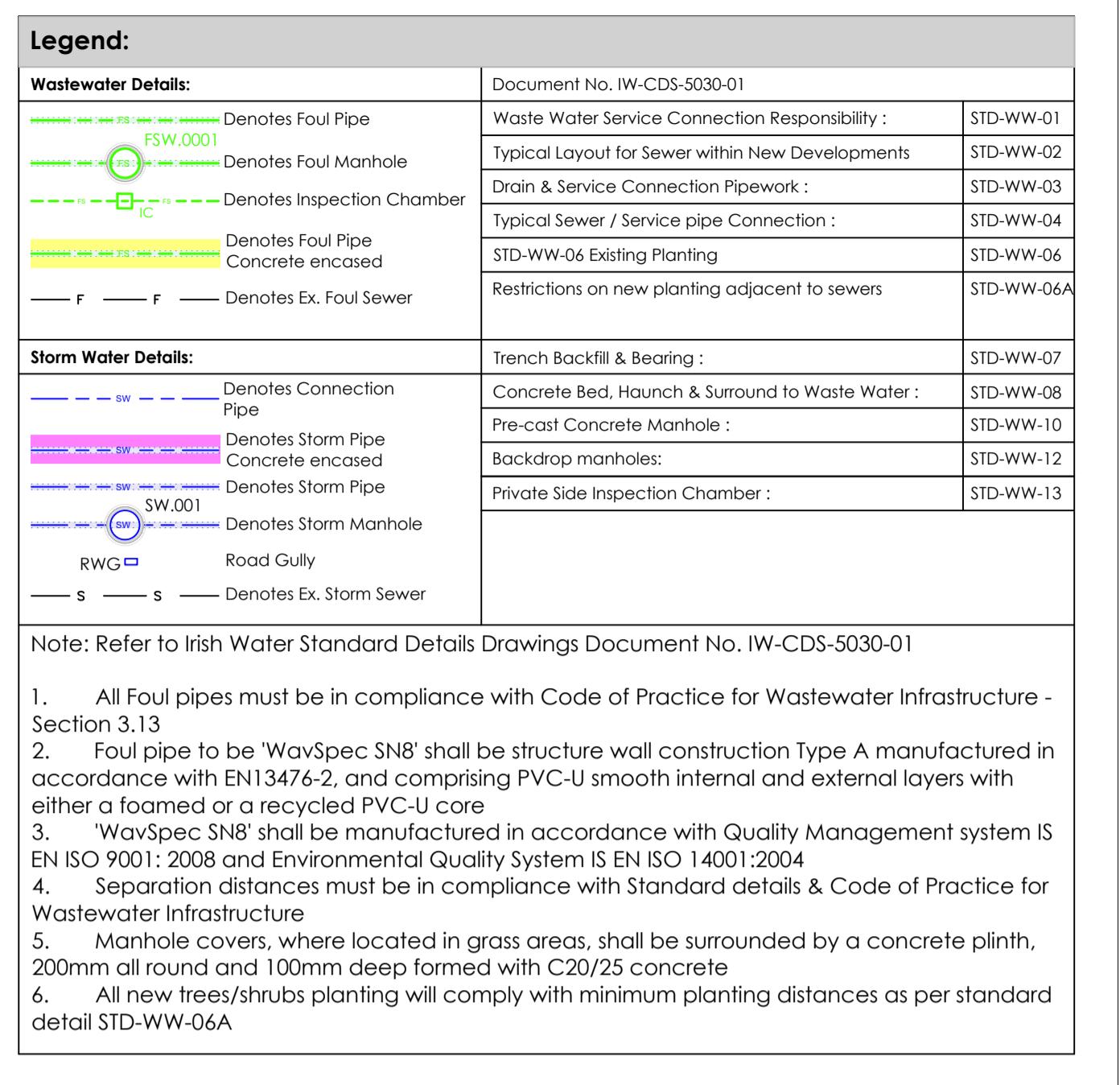


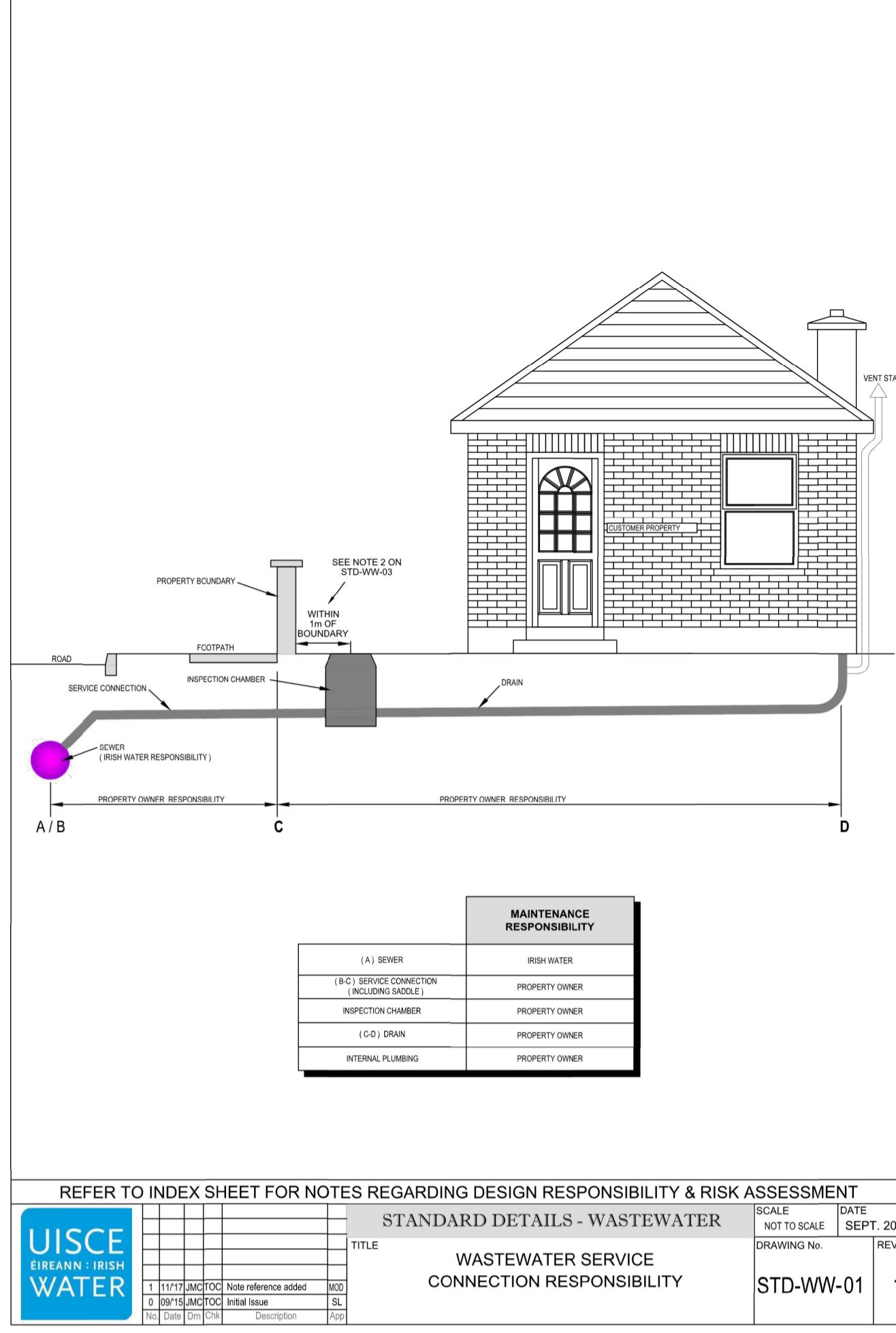
US/MH Name	US/CL (m)	US/IL (m)	Depth (m)
FS.001	16.250	14.832	1.418
FS.002	16.250	14.882	1.368
FS.003	16.550	15.130	1.420
FS.004	16.900	15.330	1.570
FS.005	17.100	15.433	1.667
FS.006	17.300	15.523	1.777
FS.007	17.500	15.650	1.850
FS.008	17.200	15.623	1.577
FS.009	17.250	15.660	1.590
FS.010	17.250	15.800	1.450
FS.011	17.050	15.983	1.067
FS.012	17.050	16.400	0.650
FS.013	17.500	15.895	1.605
FS.014	17.250	16.100	1.150

US/MH Name	US/CL (m)	US/IL (m)	Depth (m)
SW.001	16.300	14.896	1.404
SW.002	16.300	14.913	1.387
SW.003	16.150	15.002	1.148
SW.004	16.250	15.060	1.190
SW.005	16.300	15.094	1.206
SW.006	16.300	15.122	1.178
SW.007	16.300	15.130	1.170
SW.008	16.400	15.160	1.240
SW.009	16.500	15.319	1.181
SW.010	16.900	15.481	1.419
SW.011	17.100	15.545	1.555
SW.012	17.250	15.750	1.500
SW.013	17.350	15.850	1.500
SW.014	17.200	15.636	1.564
SW.015	17.250	15.665	1.585
SW.016	17.250	15.750	1.500
SW.017	17.050	16.155	0.895
SW.018	17.050	16.325	0.725
SW.019	17.250	15.789	1.461
SW.020	17.250	15.950	1.300

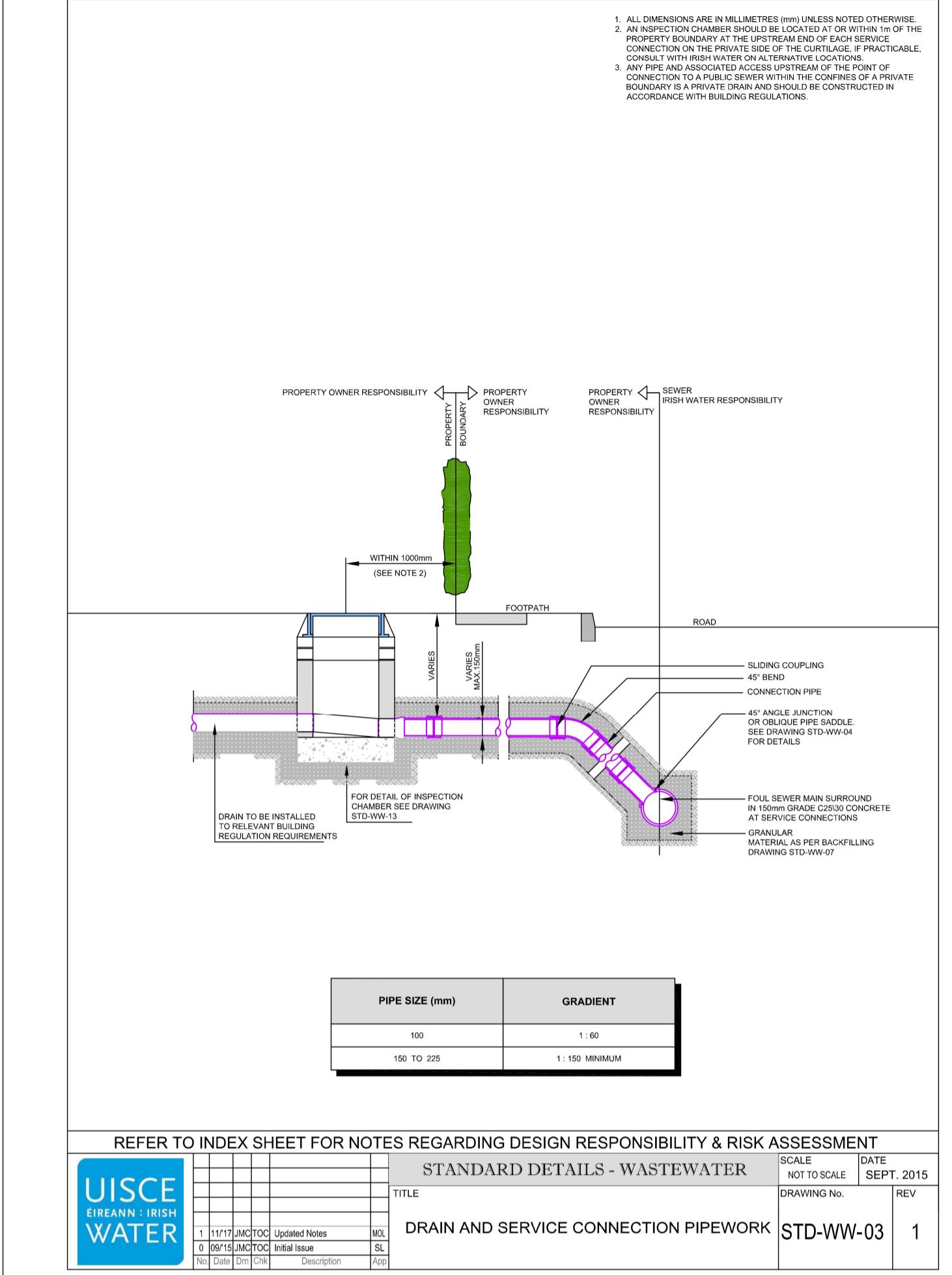
US/MH Name	Pipe Length (m)	Fall (m)	Slope (1:X)	US/IL (m)	DS/IL (m)	Pipe Dia (mm)
FS.007	25.500	0.127	200.8	15.650	15.523	225
FS.014	40.900	0.205	199.5	16.100	15.895	225
FS.013	9.000	0.045	200.0	15.895	15.850	225
FS.006	18.000	0.090	200.0	15.523	15.433	225
FS.010	21.050	0.140	150.4	15.800	15.660	225
FS.012	25.000	0.417	60.0	16.400	15.983	150
FS.011	4.200	0.070	60.0	15.983	15.913	150
FS.009	5.500	0.037	148.6	15.660	15.623	225
FS.008	21.200	0.141	150.4	15.623	15.482	225
FS.005	20.500	0.103	199.0	15.433	15.330	225
FS.004	40.000	0.200	200.0	15.330	15.130	225
FS.003	49.500	0.248	199.6	15.130	14.882	225
FS.002	10.000	0.050	200.0	14.882	14.832	225

US/MH Name	Pipe Length (m)	Fall (m)	Slope (1:X)	US/IL (m)	DS/IL (m)	Pipe Dia (mm)
SW.013	25.500	0.100	255.0	15.850	15.750	225
SW.020	40.250	0.161	250.0	15.950	15.789	225
SW.019	6.600	0.026	253.8	15.789	15.763	225
SW.012	18.850	0.205	92.0	15.750	15.545	225
SW.016	21.300	0.085	250.6	15.750	15.665	225
SW.018	17.000	0.170	100.0	16.325	16.155	225
SW.017	4.600	0.046	100.0	16.155	16.109	225
SW.015	7.200	0.029	248.3	15.665	15.636	225
SW.014	19.700	0.079	249.4	15.636	15.557	225
SW.011	16.000	0.064	250.0	15.545	15.481	300
SW.010	40.500	0.162	250.0	15.481	15.319	300
SW.009	39.750	0.159	250.0	15.319	15.160	300
SW.008	7.400	0.030	246.7	15.160	15.130	375
SW.007	2.000	0.008	250.0	15.130	15.122	375
SW.006	8.500	0.028	300.0	15.122	15.094	225
SW.005	10.000	0.033	300.0	15.094	15.060	225
SW.004	17.500	0.058	300.0	15.060	15.002	225
SW.003	26.700	0.089	300.0	15.002	14.913	225
SW.002	5.200	0.017	300.0	14.913	14.896	225
SW.001	14.300	0.048	300.0	14.896	14.848	225

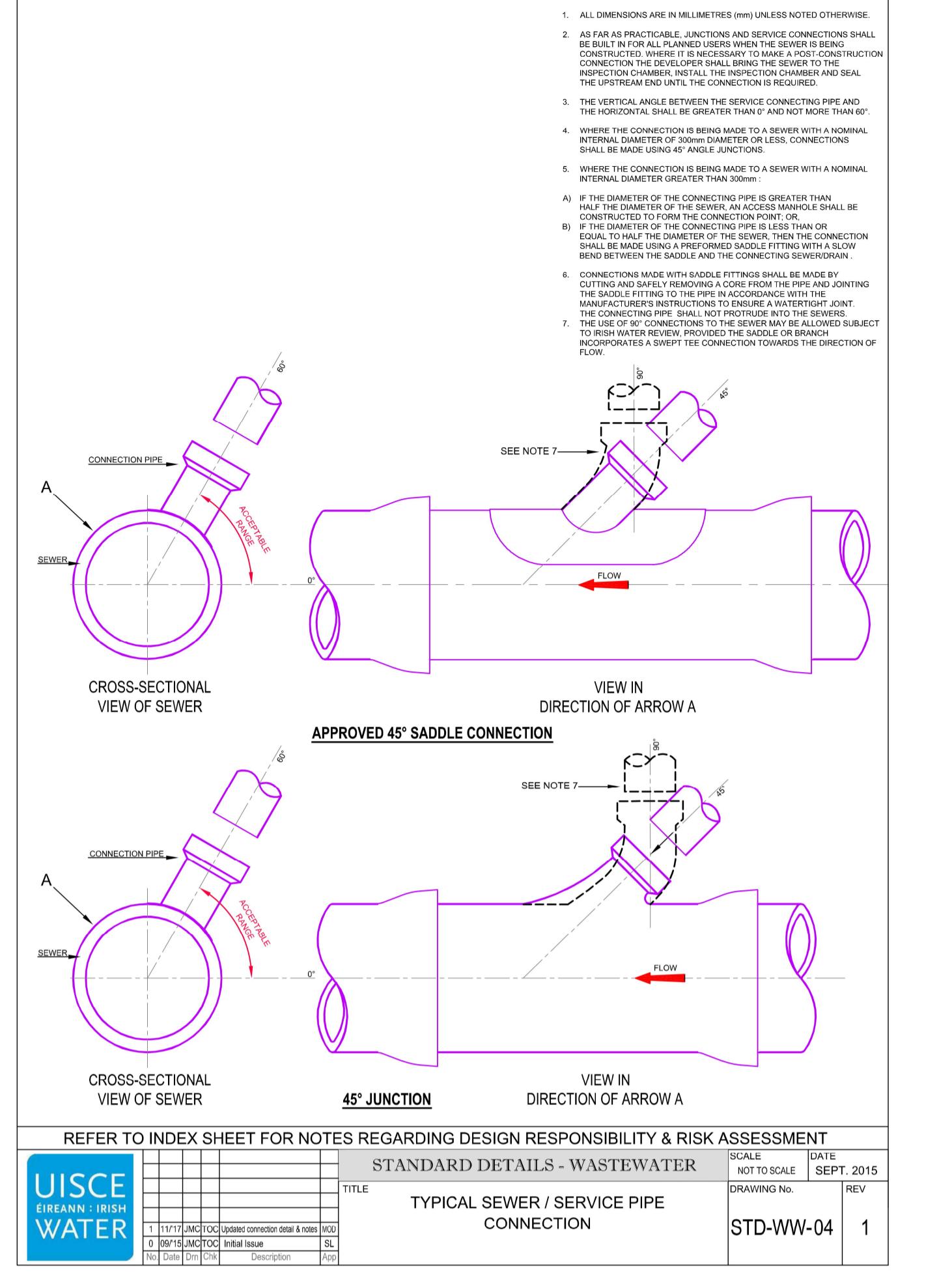




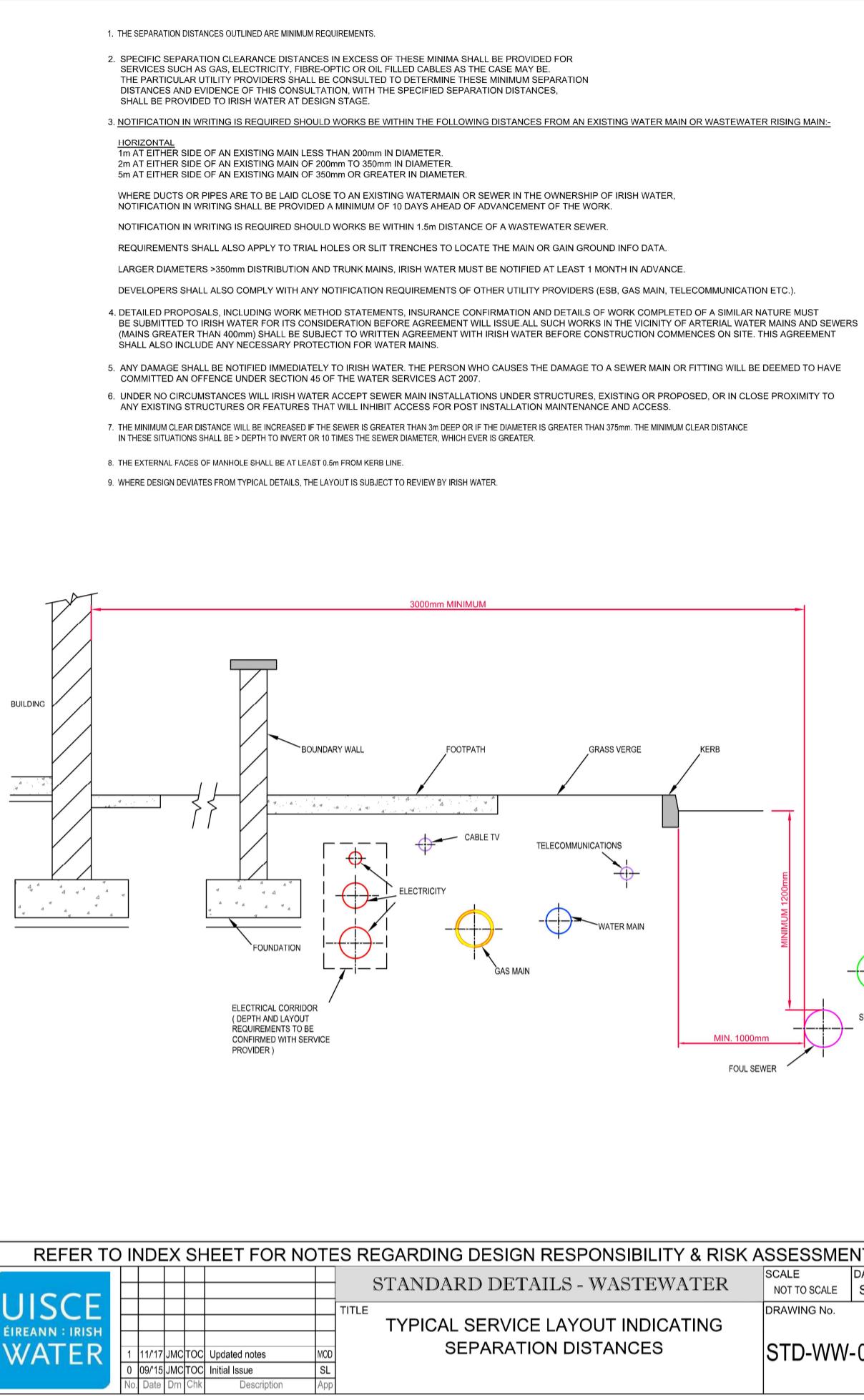
REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
1 1/17/JMCTOC Note reference added	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				



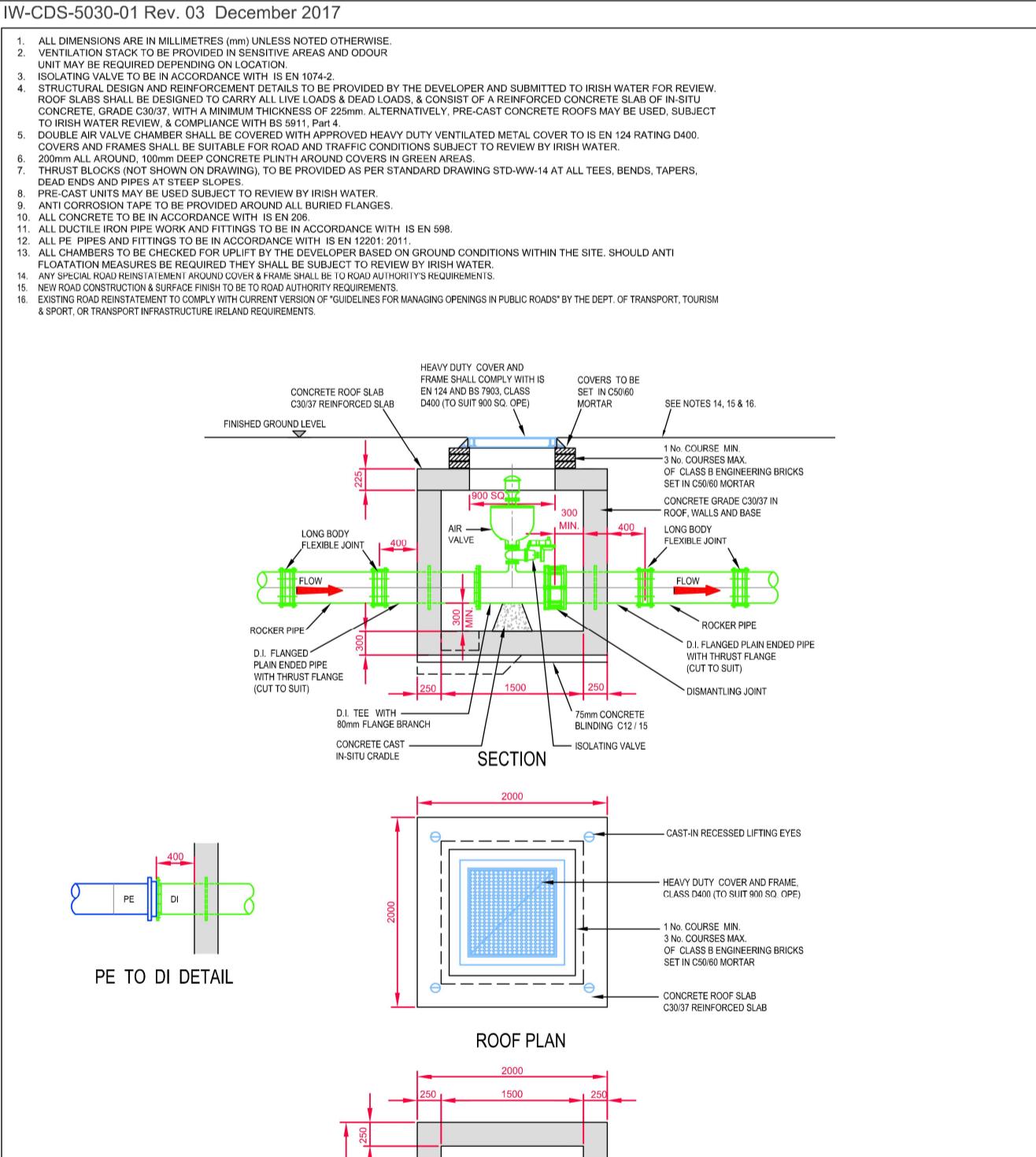
REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
1 1/17/JMCTOC Note reference added	W02				
0 09/15/JMCTOC Updated notes	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				



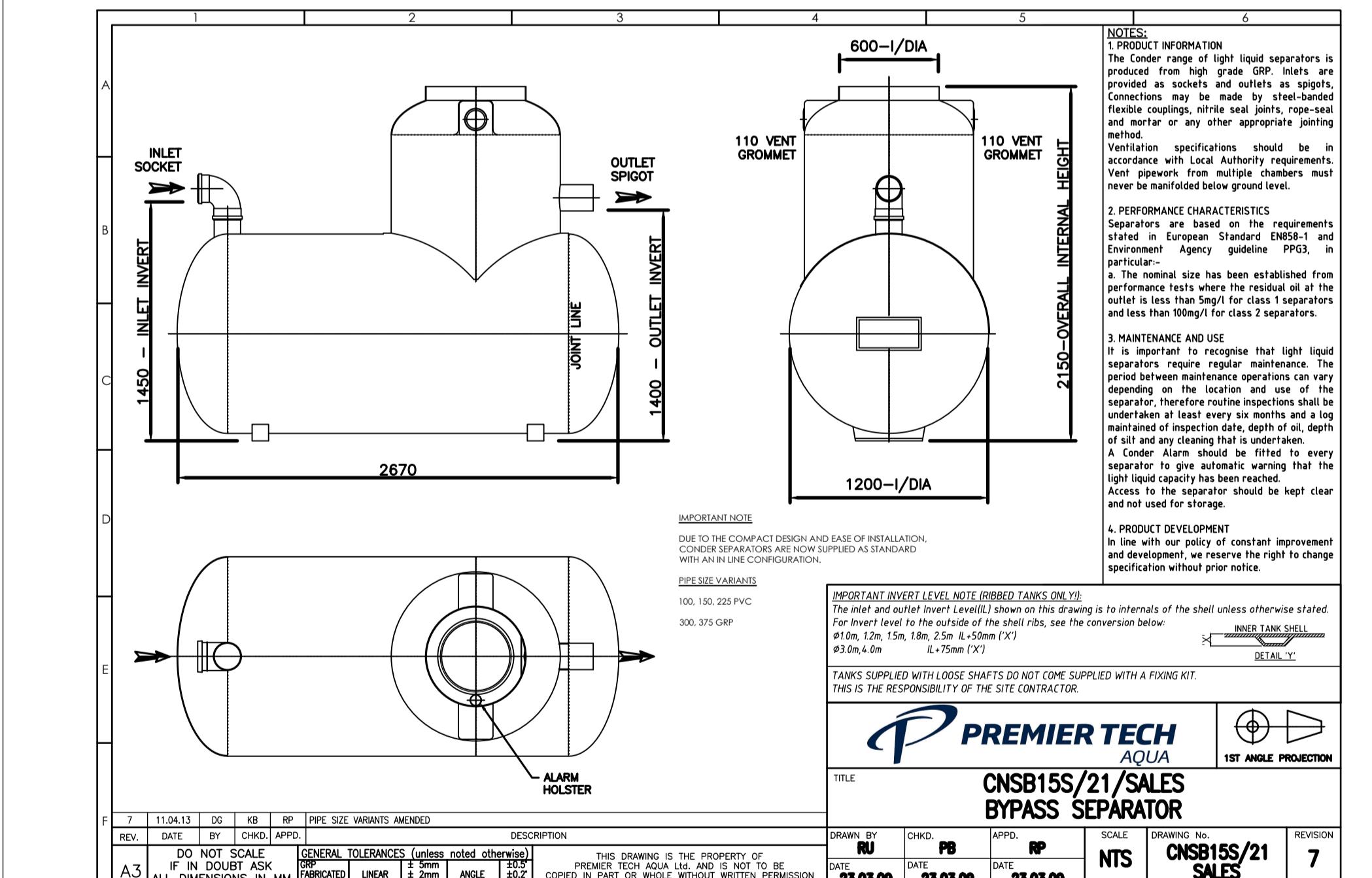
REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
1 1/17/JMCTOC Updated notes	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				



REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
1 1/17/JMCTOC Updated notes	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				



REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
2 11/17/JMCTOC Revised & updated notes	W02				
1 09/15/JMCTOC Revised notes	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				



REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT					
STANDARD DETAILS - WASTEWATER			SCALE	DATE	
UISCE EIREANN - IRISH WATER			NOT TO SCALE	SEPT. 2015	
2 11/17/JMCTOC Revised & updated notes	W02				
1 09/15/JMCTOC Revised notes	W02				
0 09/15/JMCTOC Initial issue	SL				
0 09/15/JMCTOC Description	1/20				

Standard Irish Water Detail References:

STD-WW-01 Waste water service connection responsibility

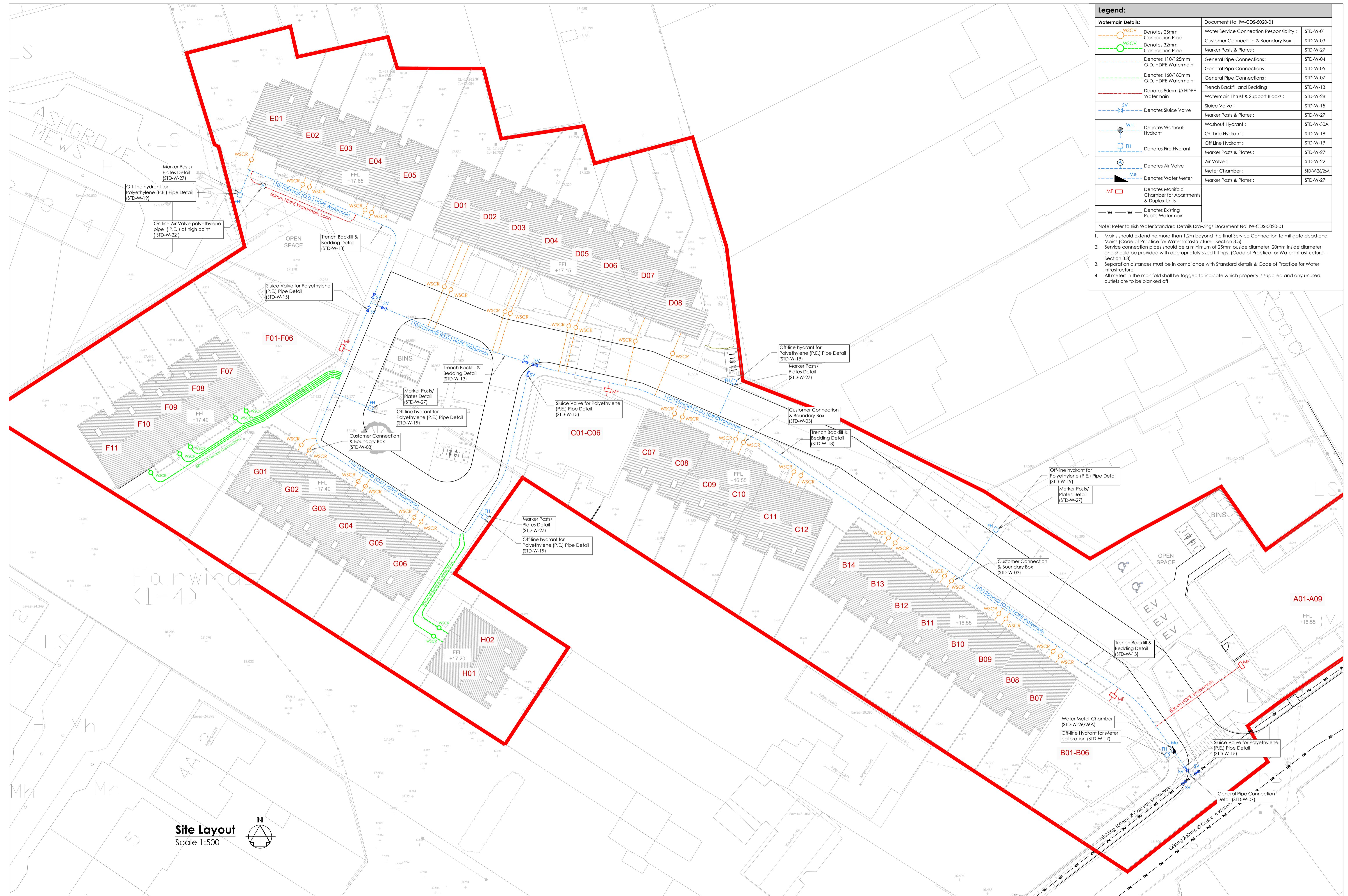
STD-WW-03 Drain & Service connection pipework

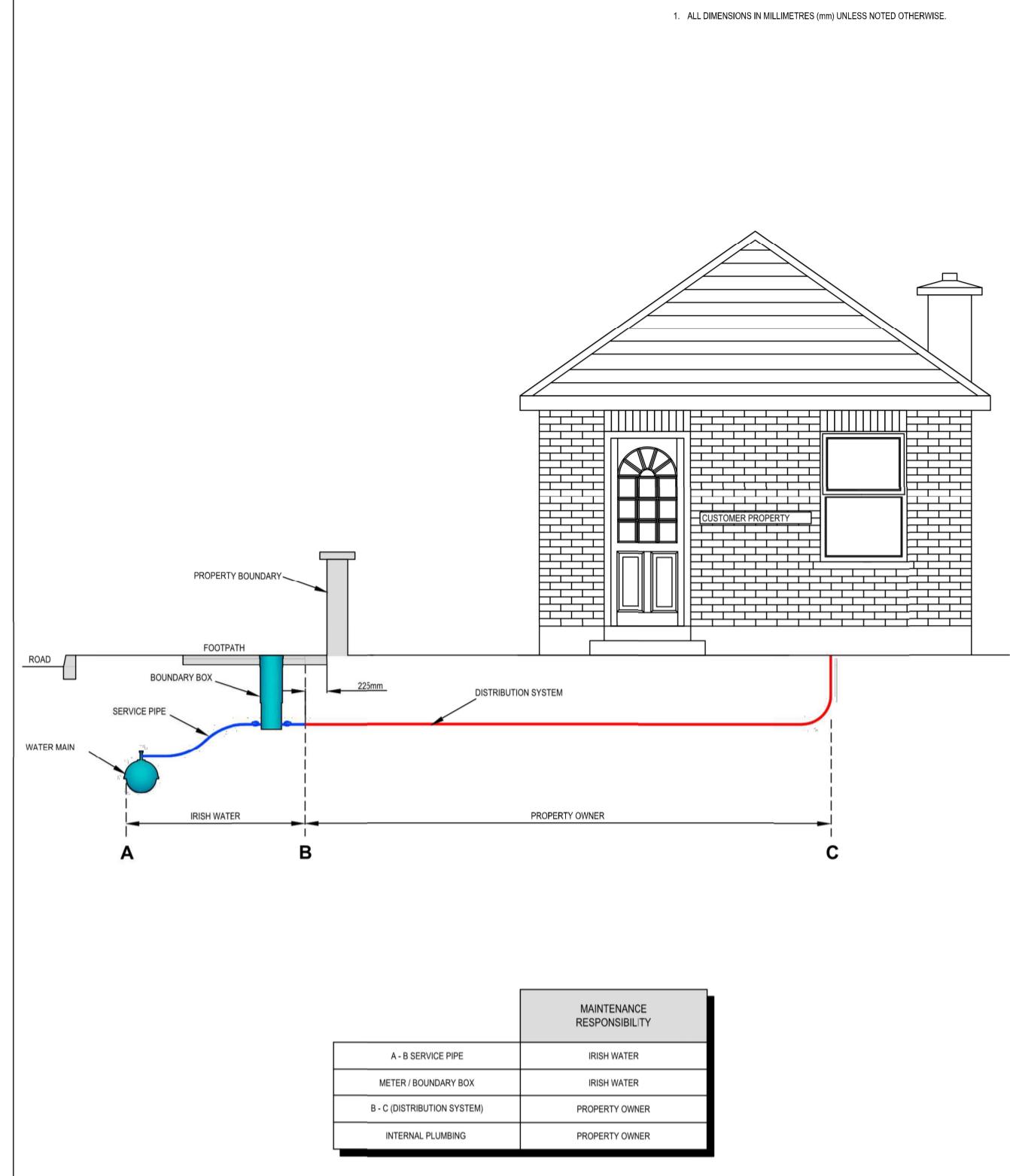
STD-WW-04 Typical Sewer/ Service pipe connection

STD-WW-05 Typical Service layout indicating separation distances

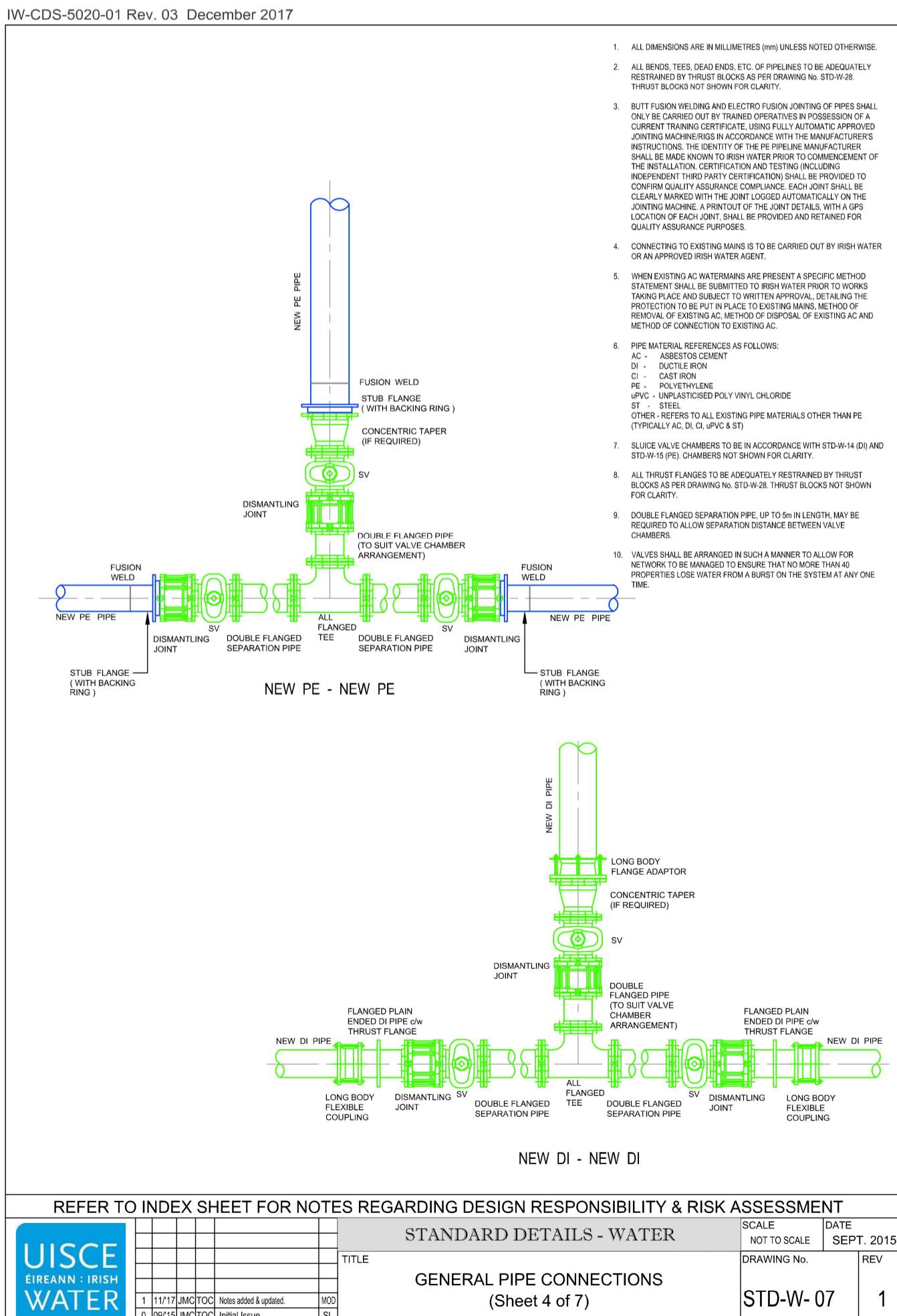
STD-WW-18 Air valve chamber (Foul rising main <200mm)

Refer to dwg no. 4995-5020/21 for plan layout



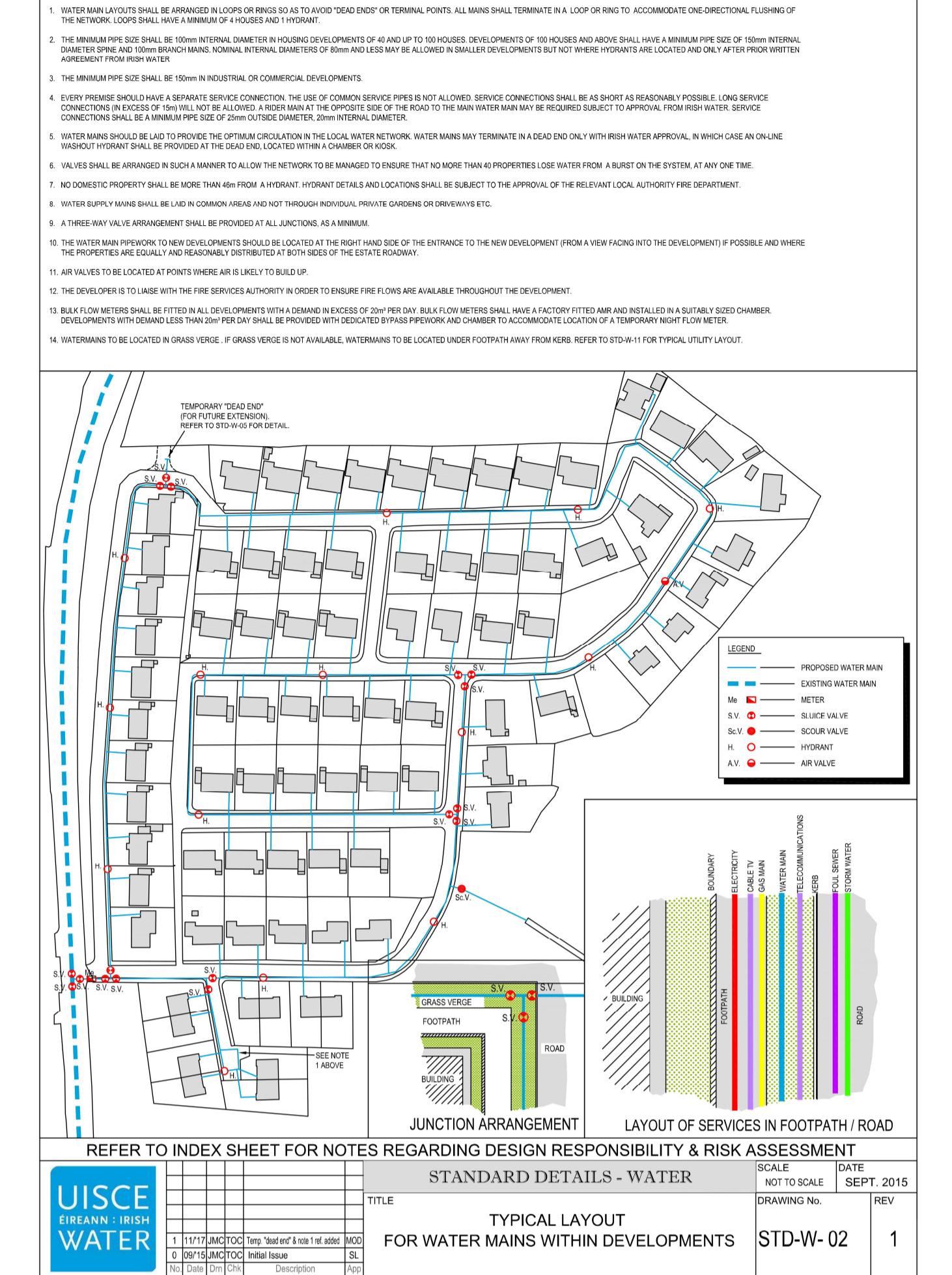


REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT													
						STANDARD DETAILS - WATER			SCALE NOT TO SCALE	DATE SEPT. 201			
						TITLE			DRAWING No.	REV			
WATER SERVICE CONNECTION RESPONSIBILITY										STD-W-01	0		
0 09/15 JMC TOC		Initial Issue		SL									
No.	Date	Drn	Chk	Description		App							



REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT

UISCE ÉIREANN : IRISH WATER	STANDARD DETAILS - WATER				SCALE NOT TO SCALE	DATE SEPT. 2015	
	TITLE	GENERAL PIPE CONNECTIONS (Sheet 4 of 7)			DRAWING No.	REV	
11/17 JMC TOC Notes added & updated. 09/15 IMC TOC Initial Issue	MOD	SI				STD-W-07	1



IW-CDS-5020-01 Rev. 03 December 2017

CROSS SECTION IN ROADWAYS

1. ALL DIMENSIONS ARE IN MILLIMETRES (mm) UNLESS NOTED OTHERWISE.
2. THE MINIMUM DEPTH OF COVER FROM THE FINISHED GROUND LEVEL TO THE EXTERNAL CROWN OF THE PIPE SHALL BE 900mm WHERE THE PIPE IS TO BE LOCATED IN HOUSING ESTATE ROADS. GREATER DEPTHS OF COVER AND/OR PIPE STRENGTH AND/OR A HIGHER CLASS OF BEDDING MATERIAL MAY BE REQUIRED WHERE HIGH TRAFFIC LOADING IS ANTICIPATED. THE DESIRABLE COVER FOR A WATERMAIN SHOULD BE 1200mm, WHERE PRACTICABLE & SHOULD NOT EXCEED 3.0m.
3. CLAUSE 804 / 808 MATERIAL IN ACCORDANCE WITH THE NATIONAL ROADS AUTHORITY SPECIFICATION FOR ROAD WORKS IS TO BE USED AS BACKFILL MATERIAL WHERE THE WATER MAIN IS LOCATED IN ROADS, FOOTPATHS OR WHEN THE NEAREST PART OF THE TRENCH IS WITHIN 1m OF THE PAVED EDGE OF THE ROADWAY. CLAUSE 804 / 808 IS TO BE COMPACTED AS PER CLAUSE 802 OF THE NATIONAL ROADS AUTHORITY SPECIFICATION FOR ROAD WORKS.
4. CLAUSE 808 IS TO BE USED WITHIN 500mm OF CEMENT BOUND MATERIALS, CONCRETE PAVEMENTS, CONCRETE STRUCTURES OR CONCRETE PRODUCTS. OTHERWISE CLAUSE 804 MAY BE USED. ALTERNATIVE BACKFILL MATERIAL TO THAT DESCRIBED ABOVE (CLAUSE 804 OR CLAUSE 808) OF THE PIPE TRENCH WILL ONLY BE ALLOWED BY IRISH WATER WHERE THE ROADS AUTHORITY IN WHOSE FUNCTIONAL AREA THE DEVELOPMENT IS LOCATED, PROVIDES WRITTEN APPROVAL TO THE DEVELOPER TO THE USE SUCH ALTERNATIVE MATERIAL.
5. SELECTED EXCAVATED MATERIAL MAY BE USED IN GREEN-FIELD AREAS ABOVE GRANULAR PIPE SURROUND MATERIAL SUBJECT TO REVIEW BY IRISH WATER.
6. PIPE BEDDING SHALL COMPLY WITH WIS 4-08-02 AND IGN 4-08-01 GRANULAR MATERIAL SHALL BE 14mm TO 5mm GRADED AGGREGATE OR 10mm SINGLE SIZED AGGREGATE TO EN 13242.
7. IN SOFT GROUND CONDITIONS (CBR < 5) THE MATERIAL SHOULD BE EXCAVATED OUT AND DISPOSED OF IN ACCORDANCE WITH THE WASTE MANAGEMENT ACT AND CLAUSE 804 / 808 MATERIAL IN ACCORDANCE WITH THE NATIONAL ROADS AUTHORITY SPECIFICATION FOR ROAD WORKS SHALL REPLACE THE EXCAVATED MATERIAL, WRAPPED IN GEO-TEXTILE WRAPPING. ALTERNATIVELY, SPECIAL PIPE SUPPORT ARRANGEMENTS, INCLUDING PILING ETC. MAY BE REQUIRED WHERE THE DEPTH OF SOFT MATERIAL IS EXCESSIVE. SUCH ARRANGEMENTS SHALL BE SUBJECT TO ASSESSMENT BY IRISH WATER BEFORE ADVANCING WITH THE WORK.
8. PIPES SHALL NOT BE SUPPORTED ON STONES OR ROCKS, OR ANY HARD OBJECT AT ANY POINT ALONG THE TRENCH. ROCK SHALL BE EXCAVATED TO A DEPTH OF 150mm BELOW THE ACTUAL DEPTH OF THE TRENCH WITH THE VOID FILLED WITH CLAUSE 804 / 808 MATERIAL IN ACCORDANCE WITH THE NATIONAL ROADS AUTHORITY SPECIFICATION FOR ROAD WORKS. THE GRANULAR MATERIAL SHALL BE LAID ABOVE THIS VOID BACKFILL MATERIAL.
9. SHOULD MINIMUM COVER NOT BE ACHIEVABLE, CONCRETE GRADE C8/10 SHALL BE USED AS BACKFILL MATERIAL.
10. MARKER TAPE TO BE 400mm WIDE BLUE POLYETHYLENE MATERIAL IN ACCORDANCE WITH EN 12163. PLASTIC PIPES SHALL HAVE WARNING TAPE INCORPORATED A REINFORCED BAND BRACING WIRE. SERVICE PIPES SHALL HAVE 200mm WIDE MESH TAPE. MARKER TAPE TO BE LAID AT TOP OF PIPE BEDDING LAYER.
11. NEW ROAD CONSTRUCTION & SURFACE FINISH TO BE TO ROAD AUTHORITY REQUIREMENTS.
12. EXISTING ROAD REINSTATEMENT TO COMPLY WITH CURRENT VERSION OF "GUIDELINES FOR MANAGING OPENINGS IN PUBLIC ROADS" BY THE DEPT. OF TRANSPORT, TOURISM & SPORT, OR TRANSPORT INFRASTRUCTURE IRELAND REQUIREMENTS.

PIPE DIAMETER 'A' (mm)	TRENCH WIDTH 'B' (mm)
≤ 80	SEE NOTE 10
100	500
150	600
200	600
250	750
300	750
350	750
400	900
450	900

PIPE DIAMETER 'A' (mm)	DEPTH OF BEDDING 'C' (mm)
≤ 200	150
≥ 250	200

REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT

STANDARD DETAILS - WATER

TITLE

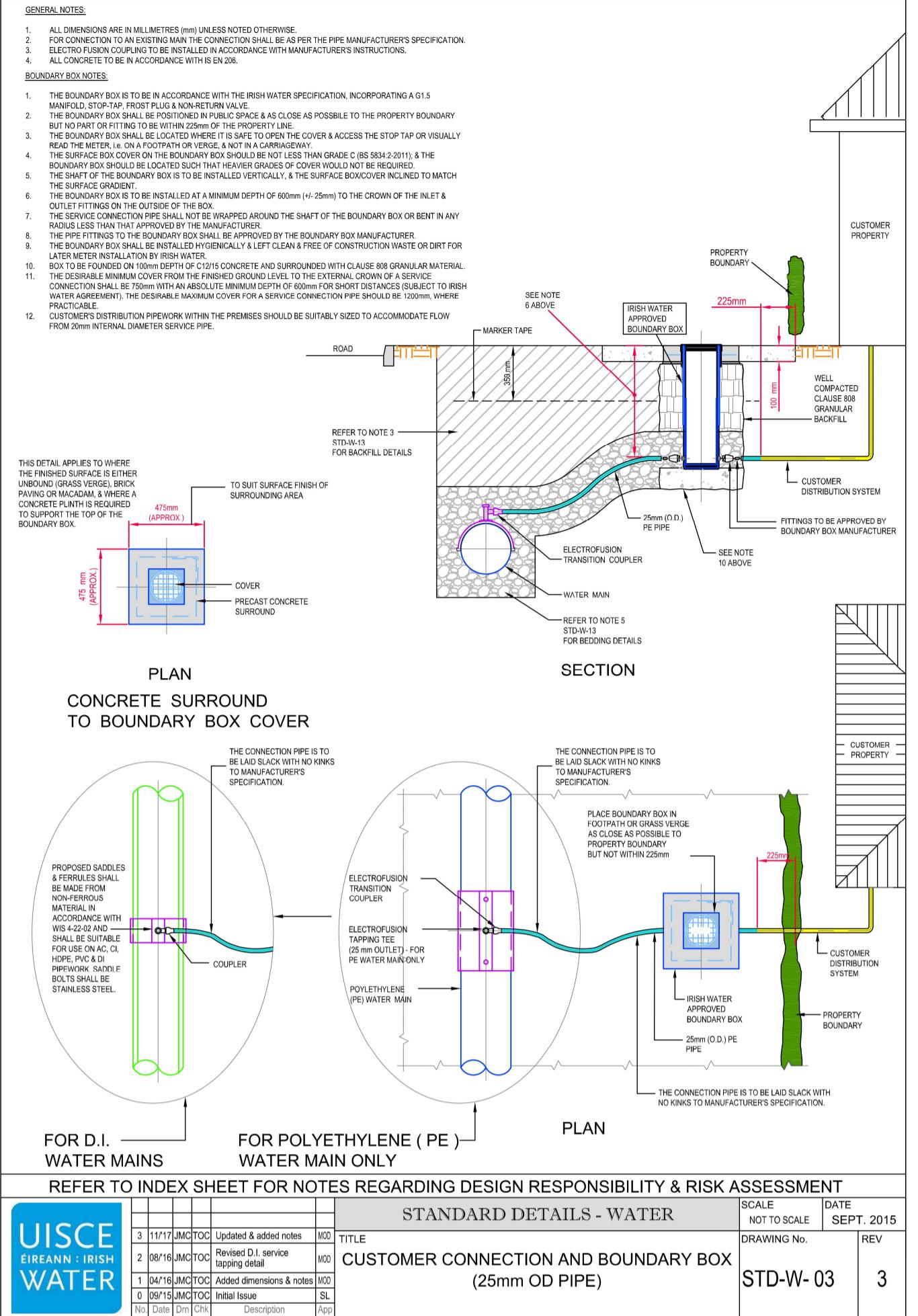
SCALE
NOT TO SCALE

DATE
SEPT. 2015

TRENCH BACKFILL AND BEDDING

DRAWING No. **STD-W- 13**

1



1. ALL DIMENSIONS IN MILLIMETRES (mm) UNLESS NOTED OTHERWISE.
2. SLUICE VALVE CHAMBERS SHALL BE COVERED WITH APPROVED HEAVY DUTY METAL COVERS TO IS 261 OR BS 5834. COVER AND FRAME SHALL BE SUITABLE FOR ROAD AND TRAFFIC CONDITIONS AND IS SUBJECT TO REVIEW BY IRISH WATER.
3. SLUICE VALVES SHALL BE RESILIENT SEATED AND SHALL COMPLY WITH BS 5163-1, BS 5163-2, IS EN 1074-1, IS EN 1074-2, OR EQUIVALENT E.U. SPECIFICATIONS.
4. ALL SLUICE VALVES SHALL BE ANTI-CLOCKWISE CLOSING.
5. VALVE CHAMBER TO BE CONSTRUCTED OF PRECAST CONCRETE UNITS OR HIGH DENSITY BLOCKWORK. ALTERNATIVELY PROPRIETARY PREFABRICATED CHAMBER UNITS MAY ALSO BE USED, SUBJECT TO REVIEW BY IRISH WATER. ROOF SLABS SHALL BE DESIGNED TO CARRY ALL LIVE LOADS & DEAD LOADS, & CONSIST OF A REINFORCED CONCRETE SLAB IN-SITU CONCRETE, GRADE C30/37, WITH A MINIMUM THICKNESS OF 150mm. ALTERNATIVELY, PRE-CAST CONCRETE ROOFS MAY BE USED, SUBJECT TO IRISH WATER REVIEW, & COMPLIANCE WITH BS 5911, Part 4.
6. CONCRETE CHAMBERS SHALL BE SURROUNDED BY A MINIMUM OF 150mm COMPACTED CLAUSE 808 MATERIAL AS PER STD-W-13.
7. DUCTILE IRON PIPES AND FITTINGS TO BE IN ACCORDANCE WITH IS EN 545.
8. 200mm ALL AROUND, 100mm DEEP CONCRETE PLINTH AROUND COVERS IN GREEN AREAS.
9. THRUST BLOCKS (NOT SHOWN ON DRAWING), TO BE PROVIDED AS PER STANDARD DRAWING STD-W-28 AT ALL TEES, BENDS, TAPERS, DEAD ENDS AND PIPES AT STEEP SLOPES.
10. ANTI-CORROSION TAPE TO BE PROVIDED AROUND BURIED FLANGES.
11. ALL CONCRETE TO BE IN ACCORDANCE WITH IS EN 206.
12. ALL THRUST FLANGES TO BE ADEQUATELY RESTRAINED BY THRUST BLOCKS AS PER DRAWING NO. STD-W-28. THRUST BLOCKS NOT SHOWN FOR CLARITY.
13. 450 x 450mm INTERNAL DIMENSION CHAMBERS MAY BE PROVIDED SUBJECT TO REVIEW BY IW. SUCH CHAMBERS SHALL BE PROVIDED WITH GRADE "A" HEAVY DUTY COVER & FRAME & STAMPED "SV".
14. ANY SPECIAL ROAD REINSTATEMENT AROUND COVER & FRAME SHALL BE TO ROAD AUTHORITY'S REQUIREMENTS.
15. NEW ROAD CONSTRUCTION & SURFACE FINISH TO BE TO ROAD AUTHORITY REQUIREMENTS.
16. EXISTING ROAD REINSTATEMENT TO COMPLY WITH CURRENT VERSION OF "GUIDELINES FOR MANAGING OPENINGS IN PUBLIC ROADS" BY THE DEPT. OF TRANSPORT, TOURISM & SPORT, OR TRANSPORT INFRASTRUCTURE IRELAND REQUIREMENTS.

PLINTH DETAIL IN GRASS AREAS

SECTION

SECTION

ROOF PLAN

ROOF PLAN

FLOOR PLAN SLUICE VALVE CHAMBER (PRECAST CONCRETE CONSTRUCTION)

FLOOR PLAN SLUICE VALVE CHAMBER (BLOCKWORK CONSTRUCTION)

REFER TO INDEX SHEET FOR NOTES REGARDING DESIGN RESPONSIBILITY & RISK ASSESSMENT

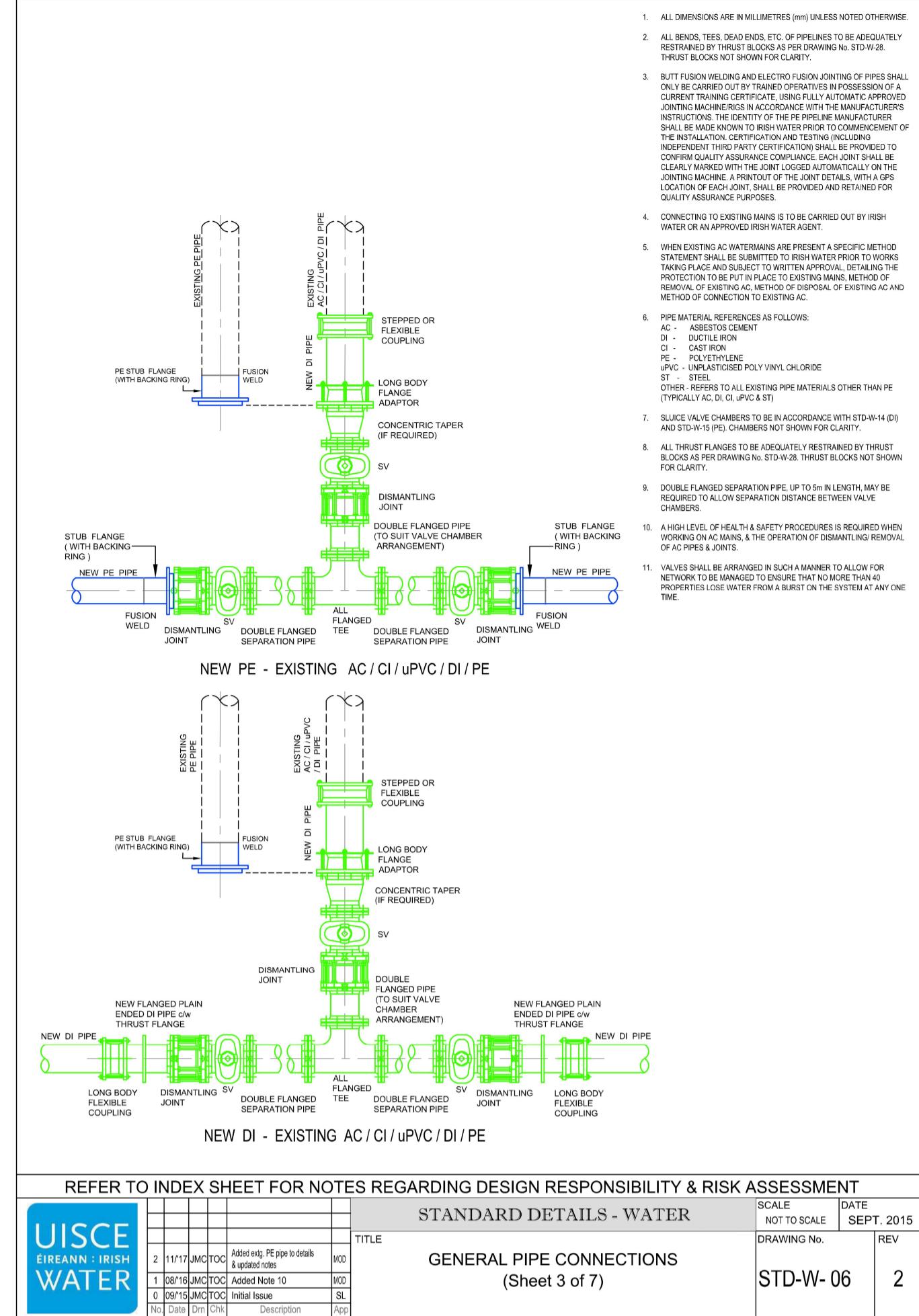
STANDARD DETAILS - WATER			SCALE NOT TO SCALE	DATE SEPT. 2015
TITLE			DRAWING No.	
3 11/17 JMC TOC	Revised & Added Notes	MOD		REV
2 08/16 JMC TOC	Revised Notes 2, 3 & 6	MOD		
1 04/16 JMC TOC	Added 2 couplings (2 details)	MOD		

UISCE
ÉIREANN : IRISH
WATER

SLUICE VALVE
FOR DUCTILE IRON (D.I.) PIPE (< 350mm DIA.)
(Sheet 1 of 2)

STD-W- 14

3



Standard Irish Water Detail References:

- STD-W-01 Water Service Connection responsibility
- STD-W-02 Typical Layout for Water Mains within developments
- STD-W-03 Customer connection & boundary box
- STD-W-06 General Pipe Connection
- STD-W-07 General Pipe Connection
- STD-W-13 Trench Backfill & Bedding
- STD-W-14 Sluice valve for Ductile Iron (D.I.) Pipe (<350mmØ)

