

2.0 SUB THRESHOLD EIA SCREENING REPORT

Clanrickarde Lodges, Boreenmanna Road, Ballintemple, Cork

Criteria for determining whether a development would or would not be likely to have significant effects on the environment as per the requirements of Article 120 of the Planning and Development Regulations 2001 as amended.

1. CHARACTERISTICS OF PROPOSED DEVELOPMENT	
Size of Proposed Development	<p><i>The overall site area is 0.047ha or 470sqm approximately. The site is located at the junction of Boreenmanna Road and Clanrickarde Estate in Cork City.</i></p> <p><i>The proposed development comprises the construction of:</i></p> <ul style="list-style-type: none"> <i>Construction of a new part 3-storey / part 2-storey / part single-storey residential building, comprising four number own-door access residential units, including two number accessible 2-bed ground floor units, one number 2-bed first floor unit and one number 3-bed duplex unit on the first and second floor, at Clanrickarde Lodges, Boreenmanna Road, Ballintemple, Cork City.</i> <i>All associated site development works, including services, water services connections, landscaping and site boundary works, including demolition and reconfiguration of the existing front boundary wall.</i> <i>The proposed development is in accordance with the objectives of current Cork City Development Plan (2022-2028). The subject lands have been earmarked for the development of housing, in an area in close proximity to a bus stop, and to community facilities. Refer to figures in Appendix A.</i>
Cumulation with other Proposed Development	<p><i>A review of Cork City Council's Planning Enquiry Portal identified no recent planning applications in the immediate vicinity of the site.</i></p> <p><i>The subject lands have been earmarked for the development of housing in an area adjacent to a bus stop, and in close proximity to community facilities.</i></p> <p><i>It is also not considered that any cumulative impacts will arise in view of the relatively small scale, localised and contained nature of the works. Having reviewed current planning applications and the density of the existing neighborhood, it can be concluded that no significant developments are likely to commence, and therefore cumulative impacts will not arise in conjunction with other developments in the vicinity.</i></p>
The nature of any associated demolition works (* see article 8 of SI 235 of 2008)	<p><i>Demolition and reconfiguration of the existing front wall.</i></p> <p><i>Standard noise and dust control measures will be implemented during all demolition works. Given the scale of the demolition works, which is considered to be small, there will be no potential for these works to result in likely significant effects to the environment.</i></p>
Use of Natural Resources	<p><i>While construction materials will be required in carrying out the proposed works, it is not considered that there will be a significant use of natural resources as part of the proposed works. Surplus construction materials which are not required for use on site will be reused, recovered or disposed off-site.</i></p> <p><i>Services such as water and power (mobile generators) will be required during the construction phase, however, it is not expected that there will be a significant use of these resources due to the nature of the works proposed.</i></p> <p><i>Water, consumption of electricity and energy related to the residential occupancy of the completed development. No out of the ordinary use of natural resources is likely during the operation phase. No significant negative impacts are likely.</i></p>
Production of Waste	<p><i>There will be negligible quantities of demolition waste arising from the proposed development. The material will be managed by the appointed contractor in accordance with the Construction Waste Management Plan.</i></p> <p><i>Operational waste generated will be domestic waste from the residential units. All domestic waste will be disposed of by a licensed waste contractor. No significant negative impacts are likely.</i></p>
Pollution and Nuisances	<p><i>The demolition and construction process have the potential to cause temporary nuisance related to noise, dust and vibration impacts. The management of these potential nuisances will be in line with best practice. The proposed development will be subject to normal conditions related to construction working hours to protect the residential amenity of the area.</i></p> <p><i>Emissions from the construction plant and vehicles will arise during the construction phase but these will be minimal. There may be short term traffic impacts associated with the construction phase of the development.</i></p> <p><i>The contractor will further develop a Construction Environment Management Plan for the proposed development which will describe the commitments to be implemented to ensure that significant negative effects on the environment do not occur.</i></p> <p><i>No significant negative impacts are likely as a result of the demolition or construction phase of the project.</i></p>
Risk of Major Accidents	<p><i>No significant risk of major accidents or disasters</i></p>
Risk to Human Health	<p><i>No significant risks to human health have been identified</i></p>

SCREENING CONCLUSION STATEMENT

The proposed development is deemed a sub-threshold development and has been screened to determine whether an Environmental Impact Assessment (EIA) is required. It has been concluded that there will be no real likelihood of significant effects on the environment arising from the proposed development and that an EIA is not required.

An overall positive impact on population and human health is predicted due to the proposed development providing much needed housing, supported by community and employment issues. Whilst there are likely to be temporary impacts experienced by people during the construction phase (noise, dust, disturbance, construction traffic, etc), these will not be significant.

Please refer to Appendix A for report titled; Environmental Impact Assessment - Screening Report 1 prepared by Ailtírí Architects dated December 2024.

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Date:	<i>13.02.25</i>

Proposed housing development at Clanrickarde Lodges,
Boreenmanna Road, Cork City

Environmental Impact Assessment - Screening Report

19th December 2024



1.0 INTRODUCTION

Ailtírí Architects Ltd. have been commissioned to prepare a planning application for 4no. proposed housing units on a brownfield site at Boreenmanna Road, Ballintemple, Cork City. In support of that Part VIII application the following screening report has been compiled to demonstrate that the proposed works will have no real likelihood of significant effects on the environment.

In support of this report is a map highlighting the site and its distance from other EIA sites within a 10km radius. This can be found in fig. 4 below.

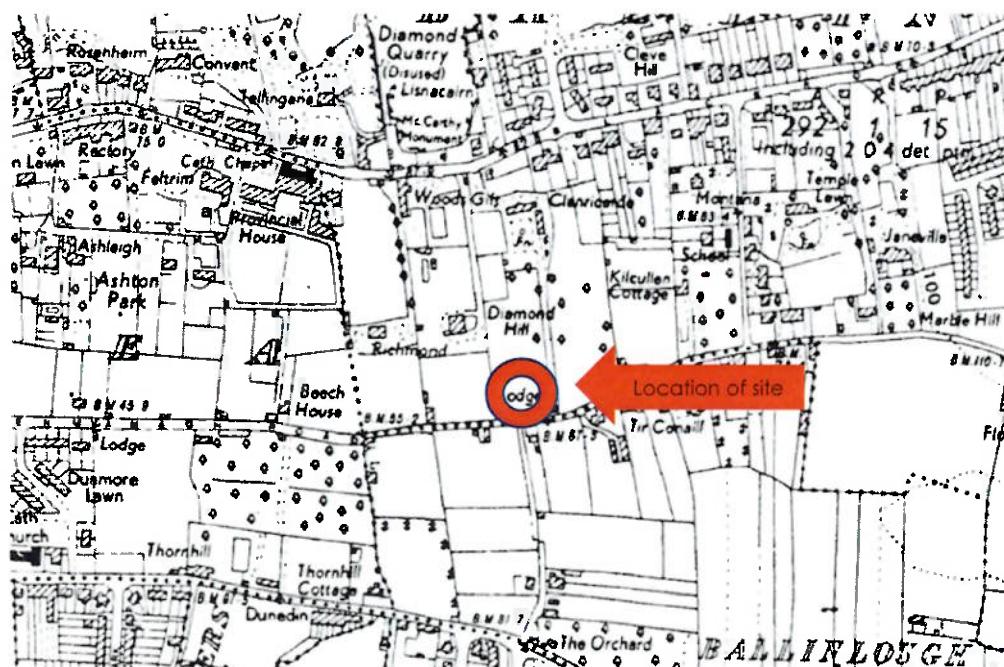


Fig. 1 above is the site in the context of the OSI 1:10560 Record Place Map (Not to scale)



Fig. 2 above is the site in the context of the OSI 1:1000 Urban Place Map (Not to scale)



Fig. 3 above is the proposed site plan drawing for the works (by author)

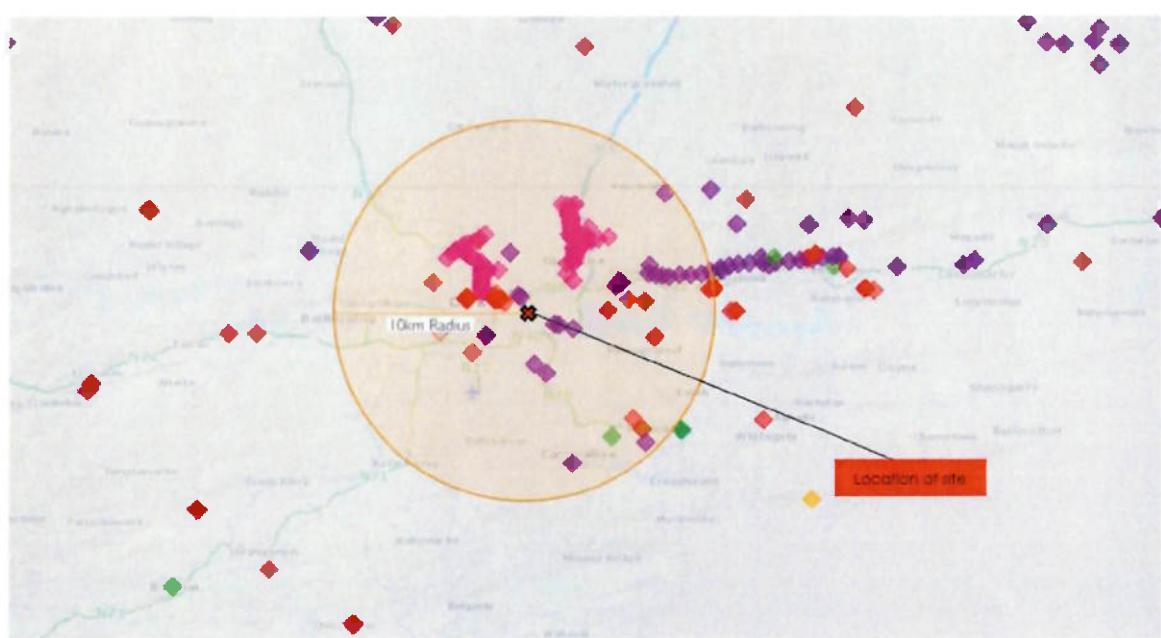


Fig. 4 (edited by author) Map shows the site with a 10km radius around it indicating other EIA sites.

Available: <https://housinggov.ie.maps.arcgis.com/apps/webappviewer/index.html?id=d7d5a3d48f104ecbb206e7e5f84b71f1>

Potential impacts on the environment have been assessed in accordance with Schedule 7 of the Planning and Development Regulations 2001, as amended. Potential impacts on the environment have been examined for potential direct and indirect significant effects of the proposed development on the following:

- Population and Human Health
- Biodiversity
- Land, Soil, Water, Air and Climate
- Material assets, Cultural Heritage and the Landscape
- The interaction between the factors mentioned above.

It is concluded that there are no likely significant effects on the environment, and due to the scale of the project it would be categorized as a subthreshold development, therefore Environmental Impact Assessment is not required.