

SUB THRESHOLD EIA SCREENING REPORT

PROPOSED DEVELOPMENT: 38 Gould Street, The Lough, Cork

Criteria for determining whether a development would or would not be likely to have significant effects on the environment as per the requirements of Article 120 of the Planning and Development Regulations 2001 as amended

1. CHARACTERISTICS OF PROPOSED DEVELOPMENT	
Size of Proposed Development	<i>The overall site area is 0.0063Ha or 63sqm approximately. The proposed development comprises the partial demolition, extension & renovation of an existing 1.5 storey derelict, mid terrace house to provide a 2-storey residential unit and all associated site boundary, site drainage, services connections & site development works.</i>
Cumulation with other Proposed Development	<i>The proposed development is in accordance with the objectives of the current Cork City Development Plan (2022-2028), falling under their purview following the 2019 City Boundary Extension. The subject site is derelict with the building being long term vacant – The remainder of the street is occupied, and the vacant unit is an eyesore.</i>
The nature of any associated demolition works (* see article 8 of SI 235 of 2008)	<i>Demolition works are required to the existing derelict property to remove the roof, intermediate floor and rear wall, in order to develop a unit, which meets the current area requirements and building regulations for residential use. All demolition waste will be disposed of to an authorised facility by a competent operative. Where asbestos is concerned the waste will be removed by a specialist and disposed of in a licenced facility in accordance with EPA requirements.</i>
Use of Natural Resources	<i>While construction materials will be required in carrying out the proposed works, it is not considered that there will be a significant use of natural resources as part of the proposed works. Surplus construction materials which are not required for use on site will be reused, recovered or disposed off-site. Services such as water and power (mobile generators) will be required during the construction phase, however, it is not expected that there will be a significant use of these resources due to the nature of the works proposed. Note: There is technically an existing water supply still in place on site.</i>
Production of Waste	<i>The proposal will not generate significant quantities of waste. Waste produced during the construction phase will be managed by a site specific construction and demolition waste management plan and will be disposed of using licensed waste disposal facilities and contractors. This does not cause concern for likely significant effects on the environment. During the operational phase, everyday waste and recycling from the residential dwelling will be disposed of by approved licensed waste disposal contractors. There are no significant mitigations measures or methods to be undertaken to reduce likely significant effects on the environment in order to complete the proposed project.</i>
Pollution and Nuisances	<i>It is expected that dust will be emitted during the construction works. Emissions from construction plant and vehicles will arise during the construction phase, but these will be minimal. The contractor will further develop a Construction Environmental Management Plan for the proposed development which will describe the commitments to be implemented to ensure that significant negative effects on the environment do not occur. There are no significant mitigations measures or methods to be undertaken to reduce likely significant effects on the environment in order to complete the proposed scheme. Any mitigations measures to manage noise, dust and/or pollution during the construction and operational phases are subject to standard policies and practices.</i>
Risk of Major Accidents	<i>No significant risk of major accidents or disasters.</i>
Risk to Human Health	<i>No significant risks to human health have been identified.</i>

2. LOCATION OF PROPOSED DEVELOPMENT	
Existing Land Use	<i>The site is currently a brownfield site (formerly residential also) in an urban location. It is part of a larger existing housing development.</i>
Relative Abundance, Quality and regenerative Capacity of Natural Resources in the Area	<i>The site is not located within any statutory designated area from an environmental standpoint. (Site falls within an ACA). An Appropriate Assessment (AA) Screening Report has been prepared in respect of designated Natura 2000 sites. This report has actively considered the potential for adverse impacts on qualifying interests, arising from the construction phase and concluded that no significant impact likely. There may be temporary impacts on the environment during construction due to noise or dust emissions depending on the activity involved and the ambient conditions at the time. However, the construction works are standard in nature and well understood. Best practice standards, environmental guidelines and mitigation measures will be adhered to in order to avoid potential impacts on natural resources and likely significant effects are not anticipated. This will ensure no significant impact on the abundance, quality and regenerative capacity of natural resources in the area. Careful and considered local consultation will be carried out with nearby residences to ensure that the minimum amount of disturbance will be caused. The implementation of these measures will ensure that the proposed development will not have any significant negative effects on the relative abundance, quality and regenerative capacity of natural resources in the area.</i>

2. LOCATION OF PROPOSED DEVELOPMENT	
Absorption Capacity of the Natural Environment	<p><i>There will be no impacts on land use outside of the proposed development area. The subject site is not served by an existing watercourse/hydrological link and is not in a flood risk area. There are no recorded monuments or heritage assets associated with the lands.</i></p> <p><i>The potential for negative effects on the natural environment in the immediate vicinity of the development area has been evaluated in the context of potential secondary effects on Natura 2000 sites, and the Report for Screening for Appropriate Assessment concluded that there is no potential for adverse effects.</i></p> <p><i>There is no potential therefore, for significant adverse effects on the geographical area in which the works are proposed with regards to the absorption capacity of the natural environment.</i></p>

3. CHARACTERISTICS OF POTENTIAL IMPACTS	
Extent of the Impact	<p><i>Given the scale of the proposed development, and its nature as the renovation and extension on an existing residential unit, it is considered that there is an adequate level of services, infrastructure, public transport & amenities in the area.</i></p> <p><i>No significant negative impact is expected or likely to occur.</i></p>
Transfrontier nature of the Impact	<p><i>Not applicable – There will be no proposed export of hazardous waste material from the development site to out of state facilities.</i></p>
Magnitude and Complexity of the Impact	<p><i>The operational phase of the development is moderate in scale and will be actively managed. No significant negative impacts are likely.</i></p>
Probability of the Impact	<p><i>The operational phase will inevitably change the local environment, however the change will be consistent with small scale construction works/upgrades in the urban streetscape generally. Measures are in place to avoid, reduce or mitigate any likely negative impacts where possible. Some temporary road closures or traffic management may be required due to the restrictive nature of the street and the site itself. These will be outlined in the contractors method statements and H&S assessment in due course. No prolonged negative impacts foreseen.</i></p> <p><i>It is anticipated that public transport will serve the proposed development, and this will be important in reducing the need for car borne trips and for a reduction in demand for car parking on site. No significant negative impacts on traffic are predicted arising from the operation of the proposed development.</i></p>
Duration, Frequency and Reversibility of the Impact	<p><i>No permanent negative impacts are anticipated as a result of the construction phase of the project. No significant negative impacts are likely. The development will be occupied all year round and impacts will be irreversible.</i></p>

SCREENING CONCLUSION STATEMENT	
<p><i>An overall positive impact on population and human health is predicted due to the proposed development. Whilst there are likely to be temporary impacts experienced by people during the construction phase (noise dust, disturbance etc), these will not be significant.</i></p> <p><i>The proposed development will have a positive effect on the street in general - regenerating the area and removing a vacant site from the streetscape within an ACA.</i></p> <p><i>On the basis of this Screening Report, it is determined that there is no likelihood of significant effects on the environment (Article 120 of Planning and Development Regulations, amended 2018). Accordingly, it has been determined that an EIA is not required in respect of this proposed development.</i></p>	
Name:	
Position:	Director of Services, Housing Delivery & Regeneration Directorate

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Date:	3rd July 2024



**Cork
City Council**
Comhairle Cathrach Chorcaí

Proposed Refurbishment & Extension of Existing Dwelling at
No. 38 Gould Street,
The Lough,
Cork City,
County Cork.
T12 AOHY

Environmental Impact Assessment – Preliminary Examination

20th May 2024

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1 INTRODUCTION

1.1 GENERAL

This Preliminary Examination has been prepared by Ailtírí Architects at the request of our client, Cork City Council and relates to the refurbishment and extension of an existing dwelling at 38 Gould Street, The Lough, Cork City. The Preliminary Examination has been prepared to determine the need for a Screening for Environmental Impact Assessment (EIA).

2 SCOPE

The preliminary examination assesses the applicability of an EIA Screening in relation to the proposed works. This preliminary examination has been carried out via a review of the project details to ascertain if any part of the works could be deemed an Annex I or Annex II project, or if by the nature and scale of the development, whether there is a real likelihood of significant effects on the environment.

3 LEGISLATIVE CONTEXT

The Environmental Impact Assessment (EIA) Directive (European Union Directive 2011/92/EU and the amended Directive 2014/52/EU) set out the types of projects that may require EIA, in Annex I and Annex II to the legislation. Annexes I and II are broadly transposed by way of the Planning and Development Regulations 2001, as amended, in Schedule 5, Parts 1 and 2.

Annex I (part 1) defines mandatory projects that require EIA on the basis that these project types will always have significant environmental effects. In the case of Annex II (Part 2) projects, they are subject to thresholds under Irish legislation. These thresholds were set at levels which distinguish between those projects which, by virtue of the nature, size or location, would be likely to have significant effects on the environment and those which would not.

For developments which are sub-threshold for Part 1 or Part 2, a screening for EIA may be required and a Preliminary Examination may first be carried out to determine the need for a full screening (Article 120 of the Planning and Development Regulations 2001-2018). In many cases where the development is small and of low risk, a Preliminary Examination may be considered sufficient.

Schedule 5 of the Planning and Development Regulations 2001, as amended (2018), Part 2, 10 (b)(i) and (iv) includes the following;

- (i) Construction of more than 500 dwelling units.
- (iv) Urban development which would involve an area greater than 2 hectares in the case of a business district, 10 hectares in the case of other parts of a built-up area and 20 hectares elsewhere.

The development is for the refurbishment and extension of a single residential unit on a site of 0.0063 hectares, and is therefore well below the threshold for Dwelling Units or the 10Ha threshold for Urban Development in a built-up area.

The Department published relevant guidelines in August 2018 for consenting authorities; - *Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment*.

The Guidelines outline the requirement for consenting authorities in undertaking screening for EIA for sub-threshold projects, particularly in the absence of an EIAR or EIA determination request. The Guidelines state that development applications should initially undergo a Preliminary Examination of whether EIA would be applicable or if it could arise.

4 DESCRIPTION OF DEVELOPMENT

4.1 SITE DESCRIPTION

The proposed refurbishment and extension works are situated on an infill, urban site on Gould Street, The Lough, Cork City. The proposed development involves an area totalling 0.0063 Ha and is illustrated below in **Figures 1, 2 & 3**.

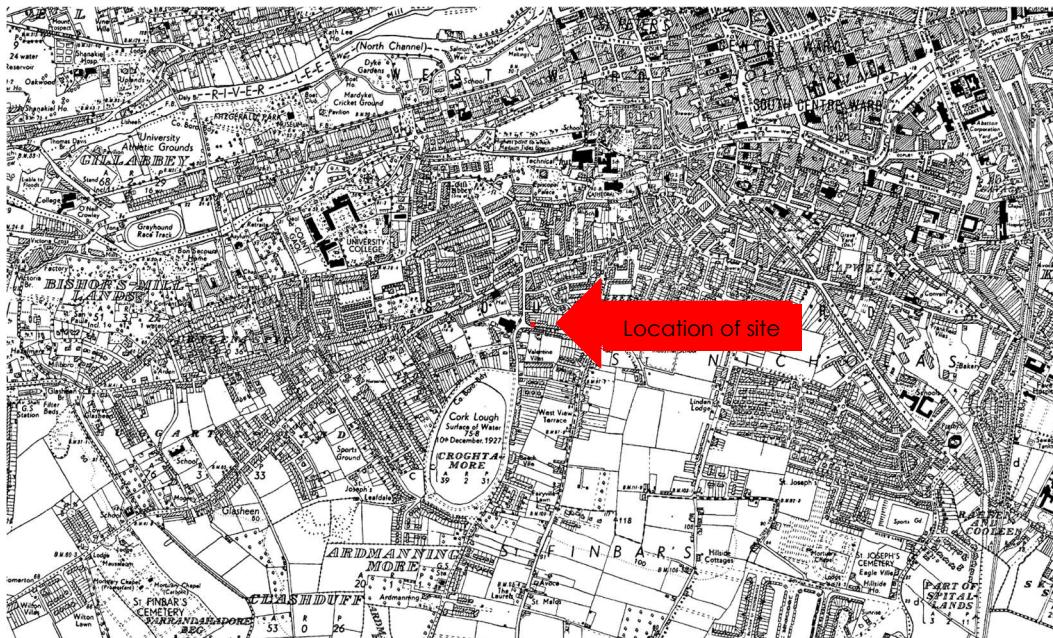


Fig. 1 above is the site in the context of the OSI 1:10560 Record Place Map (Not to scale)



Fig. 2 above is the site in the context of the OSI 1:1000 Urban Place Map (Not to scale)

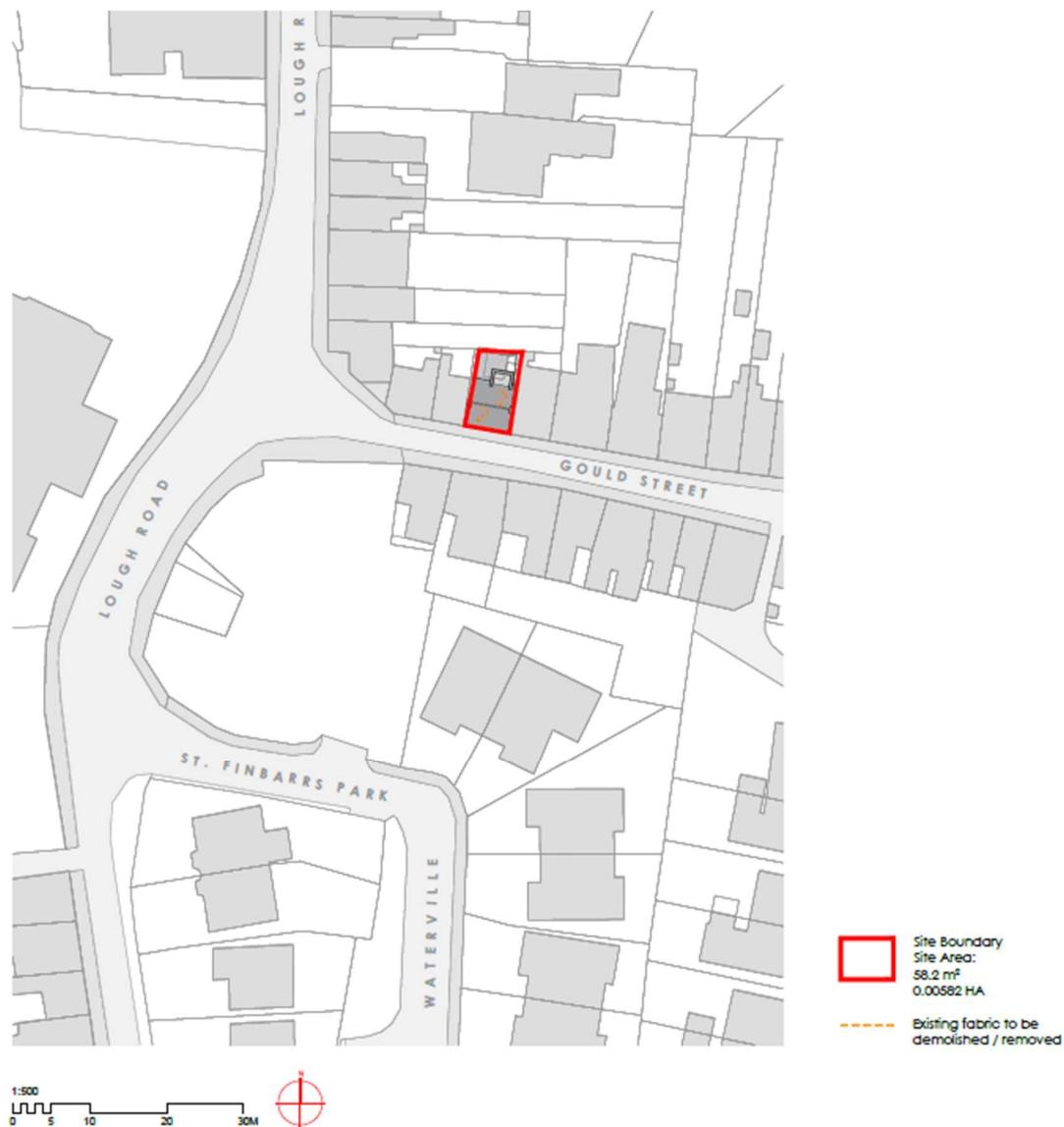


Fig. 3 above is the proposed site plan drawing for the works by author)

4.2 DEVELOPMENT DESCRIPTION

The project will comprise of the following works:

- Partial demolition, renovation and extension of an existing 1.5 storey dwelling to form a two-storey dwelling with two storey extension to the rear.
- All associated site services connections, site drainage and site development works including works to public footpath adjacent.

5 CHARACTERISTICS OF THE PROJECT

Size, scale, area, land-take.	<p>The overall site area is 0.0063Ha or 63sqm approximately. The proposed development comprises the partial demolition, extension & renovation of an existing 1.5 storey derelict, mid terrace house to provide a 2-storey residential unit and all associated site boundary, site drainage, services connections & site development works.</p>
Details of physical changes that will take place during the various stages of implementing the proposal.	<p>Site Clearance and Preparation – Due to the compact and confined nature of the site, it is recommended that a Site Compound be established on a nearby vacant site by prior agreement with the landowner. Temporary chemical toilet (to be disposed of at a licenced facility) is to be installed on the site. Contractor will supply temporary power and an existing water supply is in place. Harris Fencing and other traffic bollards will be erected at exposed boundaries for site and pedestrian security.</p> <p>Demolition – Partial demolition of the existing dwelling – strip roof and rear wall, retain façade onto Gould Street.</p> <p>Excavation – Works involving digging foundations for the building extension and excavating for service ducts and alterations to existing drainage routes.</p> <p>Construction – Services. Trenches will be dug for foul, surface water sewers, watermain and telecom services. Trenches will be dug for water mains, and ducting including electrical & telecom. All pipework & ducting will be PVC.</p> <p>Construction – Site Development. New patio area, sun seat and external store to rear, new boundary walls, kerbs, public lighting, footpath works, interconnection of drainage and services.</p> <p>Construction – Building. Substructure and superstructure for two-storey building extension.</p>
Description of resource requirements for the construction/operation and decommissioning of the proposal (water resources, construction material, human presence etc).	<p>Materials – Required materials will include ready-mix concrete, stone filling, concrete kerbs, paving, blockwork, floor insulation, timber and steel framing, aluminium windows, PVC pipework, pre-cast manhole rings and covers, street lighting columns and asphalt. Water will be needed for plastering, concrete and sanitary purposes.</p> <p>Plant & Machinery – Given the compact nature of the site and the restricted width along the street and the existing door ope to be retained, works will be carried out predominantly with smaller hand tools or very small machines. There will be no stockpiling on site. Trucks may be required to deliver materials to site but will be restricted to the street only. A teleporter or similar may be required to install materials/work at higher level. Plant/Generators required. Portakabin provided at compound on selected vacant site nearby. General tools and site lighting standards.</p> <p>Human Presence - Typically 2-3 employees will be present on site daily for the duration of the works. This will fluctuate from time to time as different phases of the works take place.</p> <p>Waste Management Plan - An integrated Waste Management Plan (WMP) will be developed and implemented for the duration of the works. As part of this individual waste streams will be identified at source and stored in dedicated skips for subsequent disposal to authorised waste facilities.</p>

	<p>Waste Removal - All waste material will be managed as per the Waste Management Plan (WMP). Any material failing to waste will be streamed to the appropriate waste container/skip in the site compound. All waste material will be removed from site by an approved Licensed Waste Contractor and disposed of as required to authorised waste facilities approved by Tipperary County Council. Any recyclable material will be disposed of at a recycling centre.</p>
Description of timescale for the various activities that will take place as a result of implementation (including likely start and finish date).	<p>It is anticipated that the development will commence upon receipt of development consent and funding approval. It is expected that the works will be completed in a six-nine month period.</p>
Description of wastes arising and other residues (including quantities) and their disposal.	<p>The bulk of the spoil/waste generated by works will be inert and will not be retained or stockpiled on site. Any waste excavation material will be removed from site and disposed of appropriately.</p> <p>Spoil - Broken / waste concrete, topsoil, PVC, materials from building fabric, excavated material, asphalt.</p> <p>Other - Plastics and packaging, domestic waste from site canteen, wastewater, effluent from site welfare facility.</p> <p>Asbestos - Small elements of asbestos have been identified on the dormer roof windows as part of the Asbestos Refurbishment Survey. These will be removed and disposed of by a specialist before any demolition works commence.</p>
Identification of wastes arising and other residues (including quantities) that may be of particular concern in the context of the Natura 2000 network.	<p>Effluent – N/A</p> <p>A chemical toilet under contract with a licenced facility is to be provided under contract. No connections to existing foul water system for temporary site welfare facilities will be required.</p>
Description of any additional services required to implement the project or plan, their location and means of construction.	<p>A site compound will be required for the works contractor to undertake the works. Some minimum volumes of fuels will be stored within the compound along with tools, materials etc. All plant will have bunded fuel tanks and will be re-fuelled either off site or within a bunded area within this site compound.</p> <p>There will be no concrete truck washout allowed on-site.</p>

6 POTENTIAL FOR SIGNIFICANT EFFECTS

To fully consider the potential for significant impacts or effects, the Source-Pathway-Receptor model was used to review the characteristics of proposed development, location of the proposed development and the characteristic of the potential impacts.

As outlined at Section 4.2 above, the characteristics of proposed development include contained works within an existing urban infill site. The works themselves are small scale and do not involve major construction works.

The project is located in the urban core of Cork city and is not adjacent to watercourses, nature reserves, protected sites or other sensitive features. These are relatively small-scale works, which do not involve the creation of significant pollution or waste, risk of major accidents or risk to human health.

The characteristics of the impacts include construction noise from the movement of machinery, negligible air emissions from use of machinery and negligible risk from the machinery's fuel and oil. A site compound will be required for the works contractor to undertake the works and will be controlled per standard practice including the management of all wastes and wastewater. Some minimum volumes of fuel will be stored within the compound along with tools and materials.

It is not considered that any cumulative impacts will arise in view of the relatively small scale, localised and contained nature of the works.

Therefore, in consideration of the nature, scale and location of the development, there is no real likelihood of significant effects on the environment.

7 CONCLUSION OF PRELIMINARY EXAMINATION

It has been concluded that a Screening for Environmental Impact Assessment is not required in this instance on the basis of the following:

Development Features	Preliminary Examination	Reasons for Conclusion
Annex I Project	No	Not an Annex I project
Annex II Project	No	Not an Annex II project
Sub-threshold Project	Yes	Sub-threshold project
Characteristics – Complex development	No	Small scale, straightforward works. Not a complex construction project.
Location – Highly sensitive	No	Existing urban infill location.
Impacts – Complex or Intense	No	Minor – temporary and manageable; during construction only.
Screening for Environmental Impact Assessment required	No	No realistic doubt to likelihood of significant effects

In accordance with Article 120(1)(b)(ii) of the Regulations, and in consideration of the nature, scale, and location of the development, it is concluded that there is no significant and realistic doubt in regard to the likelihood of significant effects on the environment, arising from the proposed development, and therefore an EIA Screening is not required, and an EIA is not required. Furthermore, given the nature, scale and location of the proposed works, there are no potential cumulative or in combination effects, likely to arise in this instance.